

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-307
PROPOSED DEVELOPMENT:	Tourist Operation - Chocolate Experience at Cadbury
LOCATION:	100 Cadbury Road Claremont
APPLICANT:	Era Advisory
ADVERTISING START DATE:	27/03/2026
ADVERTISING EXPIRY DATE:	15/04/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **15/04/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **15/04/2026**, or for postal and hand delivered representations, by 5.00 pm on **15/04/2026**.

Site Values Strategies

Heritage Values



Historic Parkland Setting and Avenue

The landscape response considers the original entry into the factory and as a key historical alignment. The tree lined avenue is aligned to frame the clocktower and the gates and Gatehouse of the original factory development.

This entry experience will be enhanced to ensure the key historical elements of the original factory remain visible and are celebrated. The visitor arrival experience is to be informed by the original entry sequence along the historic avenue, allowing visitors to gain an impression of the sites history and landscape setting.

Where pines are removed from the avenue, a succession plan will ensure the original approach to the factory is secured into the future and celebrated for generations to come. Replacement plantings will favour a palette of locally appropriate species that are more resilient to the Tasmanian climate and reflective of the broader natural landscape. This includes the introduction of endemic *Acacia melanoxylon*, providing habitat value, and a stronger connection to the native character of the River Derwent foreshore. Tree selection will prioritise structural integrity and longevity, creating a robust and ecologically enriched entry sequence while retaining the formal avenue structure that aligns with the factory vista.

Natural Values



Significant Habitat Trees

The project area contains 0.63 ha of native *Allocasuarina verticillata* forest and supports potential habitat for EPBC Act-listed fauna species including the swift parrot, blue-winged parrot, and eastern barred bandicoot. A key mitigation priority will be the retention and protection of the identified hollow-bearing tree which may provide nesting habitat for threatened parrot species. Development will avoid these trees entirely, maintaining a sufficient Tree Protection Zone (TPZ) during construction.



Habitat Health

A comprehensive weed and hygiene management plan will be implemented, focusing on controlling four declared weeds (blackberry, boneseed, fennel, slender thistle) and staged removal of radiata pine from the site, particularly where they encroach into native vegetation. Construction works will adhere to best practice erosion and sediment control standards, especially within the foreshore and coastal protection area. Elevated walkway structures will be implemented to minimise ground disturbance. Overall, the strategy is to prioritise avoidance of key natural values, targeted mitigation of unavoidable impacts, and ongoing site management practices to reduce residual risks to flora, fauna, and vegetation communities.

Site Spatial Framework

1. Entry and exit of the existing carpark to be reconfigured to prioritise pedestrian movement.
2. Provide a new dedicated pedestrian connection from the northern car park.
3. Implement succession planting beneath the existing pine avenue on the southern and northern side of Cadbury Service Rd, protecting the avenue 'approach' into the future
4. Align the building service yard with the factory edge as a place of 'exchange'
5. Establish a building forecourt which activates the existing parklands for visitors and community
6. Retain the existing rail trail as a connected experience for cyclists and pedestrians
7. Promote the high point of the site for views out across the bay from within and outside of the building
8. Establish an accessible pathway that connects the ferry jetty to the experience centre
9. Protect existing vegetation along the rivers edge
10. Provide DDA compliant bus drop off and car parking along Cadbury service road.
11. Provide a new cycle connection onto the service road with upgrade of existing bitumen section of track within the site to provide connection through to the Intercity Cycleway.



Concept Design Framework



Factory in the Parklands

The visitor experience is structured around a dialogue between two distinct spatial logics:

- Grid — representing order, production, discipline, and the legacy of the Cadbury factory: a place of routine, repetition, and purpose.
- Ground — representing Country, parklands, ecological systems, and custodianship: a place of story, flow, and organic life.

This contrast becomes the conceptual backbone of the design, a layered experience that moves visitors from the human-made logic of the grid to the living systems of the ground, encouraging reflection on place.

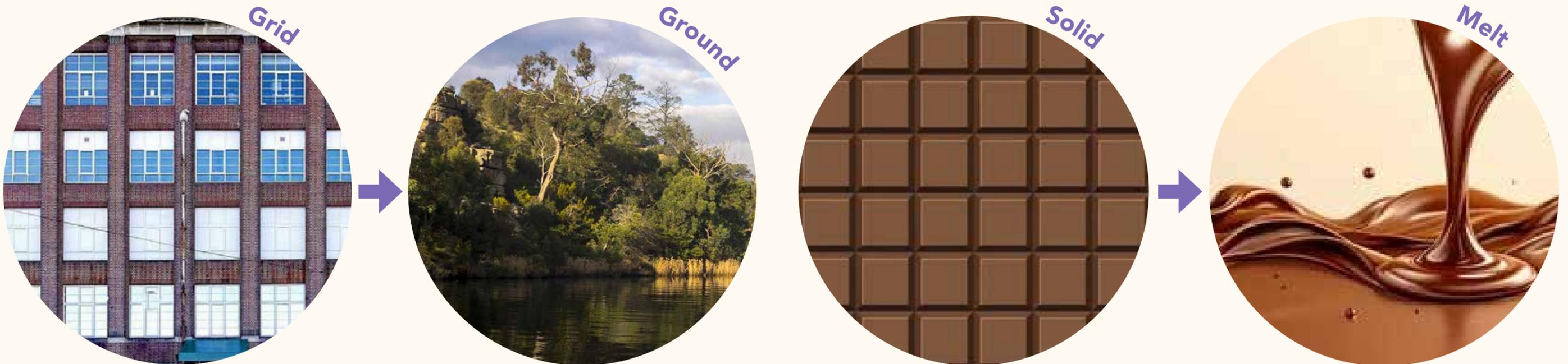


Storytelling formula

This is also a place shaped by the simple and yet impactful visual of chocolate.

- Solid - The grid geometry of the chocolate bar—neat, repeatable, and measured—mirrors the factory's logic: precision, purpose, production. It speaks to the legacy of Cadbury, where industry was guided by care, and the grid was a symbol of order, equity, and craft.
- Melt - but chocolate also melts. It softens, moves, flows. In the parklands, this melt becomes metaphor, a shift from structure to sensation, from containment to connection. Here, forms flow through trees, water, and stone. Palawa knowledge speaks through Country, not grids.

Between the snap of the bar and the drift of the melt lies a rich, layered landscape experience, of making and meaning, of industry and ecology, of memory and possibility.



PART 2: CONCEPT

Site Plan

1. Proposed ferry jetty location
2. Stairs to main entry of building
3. Accessible connection
4. Outdoor seating and cafe spillout
5. DDA accessible parking
6. Bus drop off/pick up area
7. Proposed swale and water detention
8. Bicycle parking
9. Pedestrian crossing connecting visitor car parking to the entry path

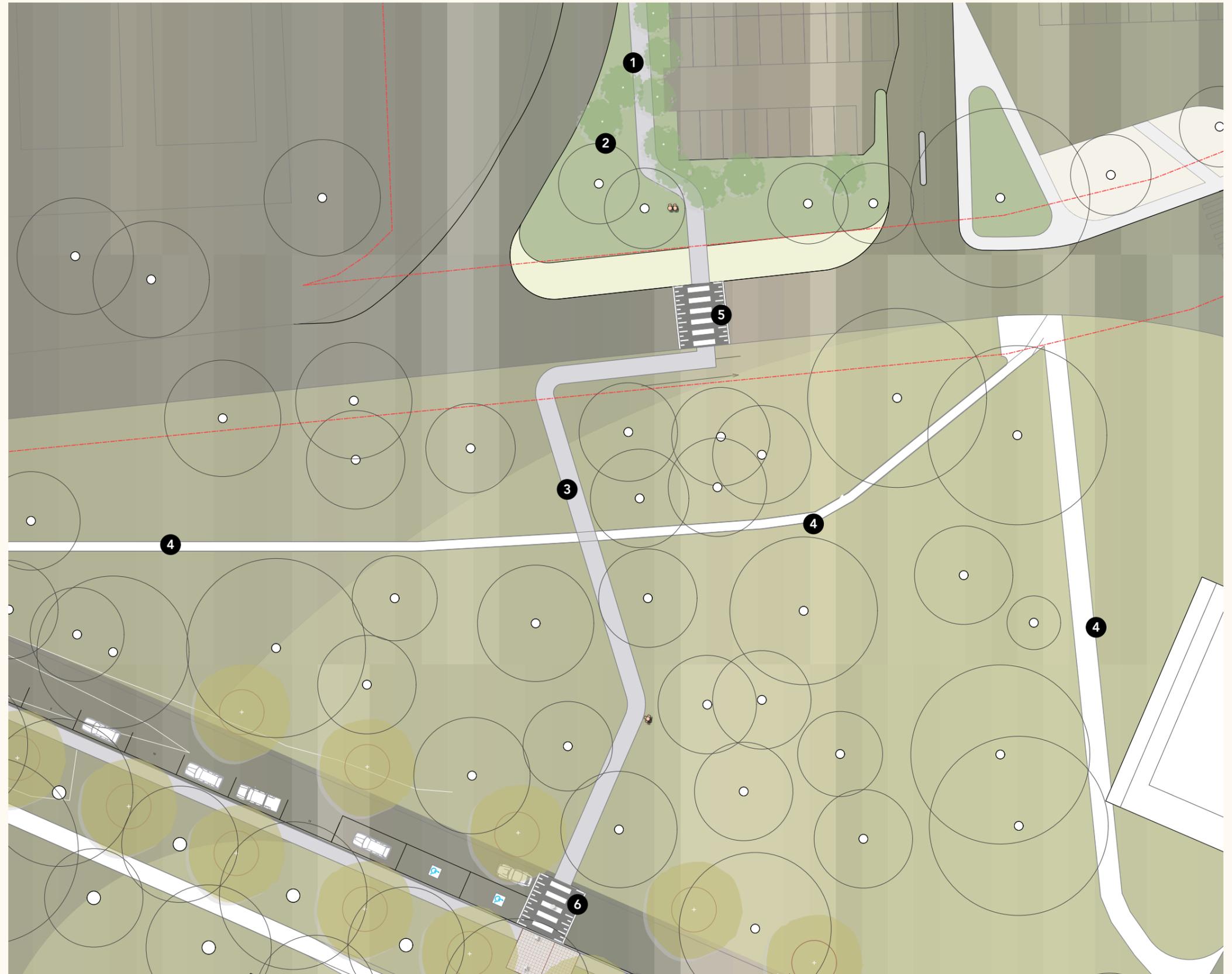


Arrival

The Arrival space sets the tone for the visitor experience from the northern car park. It is a place of orientation and welcome. This space introduces key interpretive cues, signposting that visitors are entering a landscape shaped by deep histories: industrial, cultural, and natural. As the first point of contact, it provides clarity, accessibility, and a moment to pause before the experience unfolds.

1. 2m wide pedestrian pathway connecting the visitor carpark to the Chocolate Experience.
2. Vegetation buffering the road and carpark from the pathway.
3. 2m wide pedestrian pathway avoiding the existing trees root zones.
4. Existing pathways retained.
5. Pedestrian crossing for Cadbury Rd
6. Raised crossing for the Service Rd

Refer to Civil Engineer drawings for Car Park and road layout



Legend

- - - Property boundary
- Building line
- Services easements
- Existing trees
- Proposed avenue trees
- Proposed native trees
- Proposed concrete paths
- Existing pathways
- Mass planting

Parklands

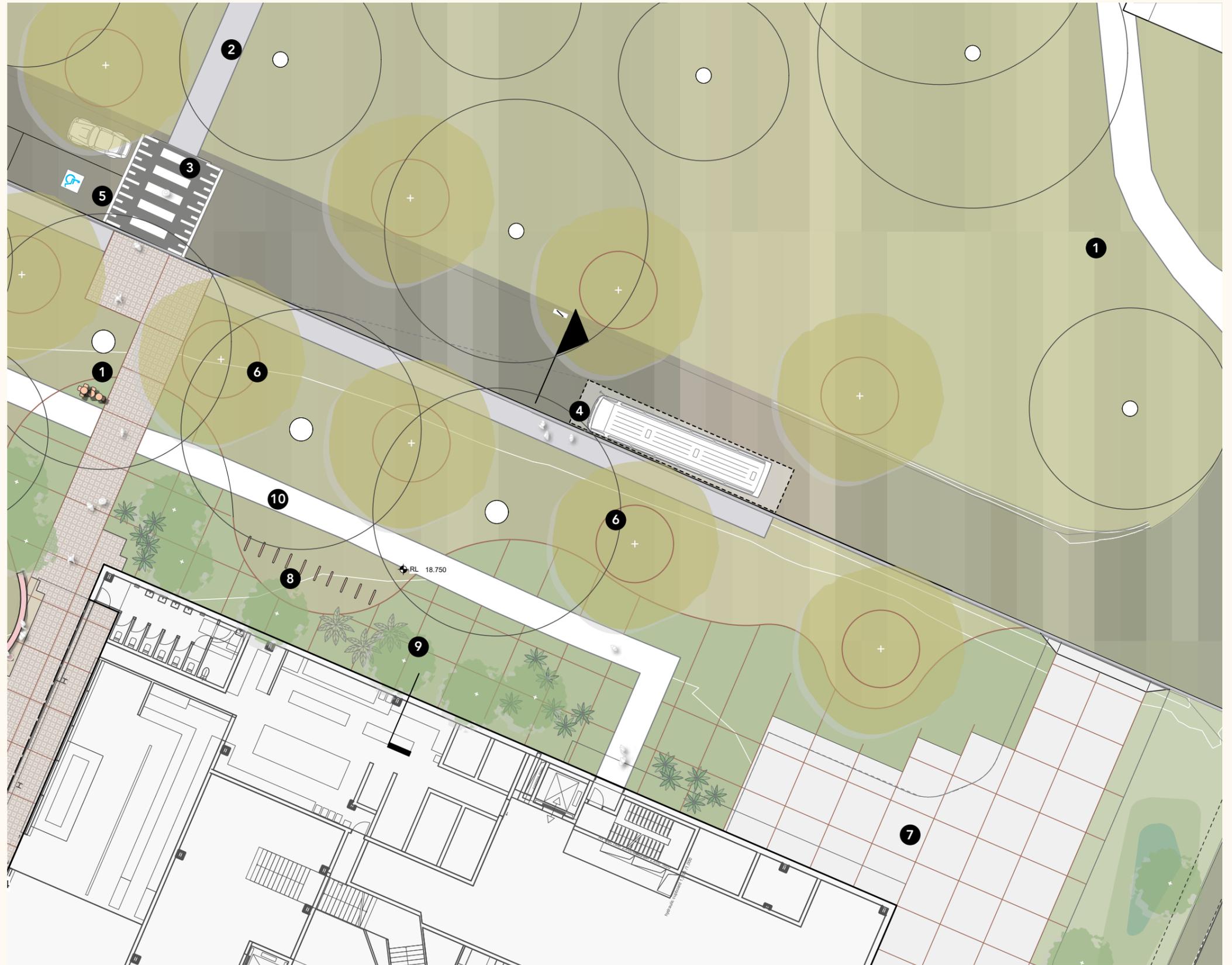
Once part of the Garden City-inspired factory estate, the parklands invites lingering and exploration. Maximising the existing tree canopy shade, it provides a space layered with planting that weaves together colonial planting traditions and native ecologies. It serves as a mediator between the forecourt and the wilder parklands to the north.

1. Wayfinding node
2. Concrete arrival path
3. Pedestrian priority crossing
4. Bus pick up / drop off area - 2m wide footpath
5. DDA parking (3no.)
6. Proposed avenue tree planting
7. Service yard access (no public access)
8. Bike parking (10no. hoops)
9. Native 'parkland' planting
10. Employee access only

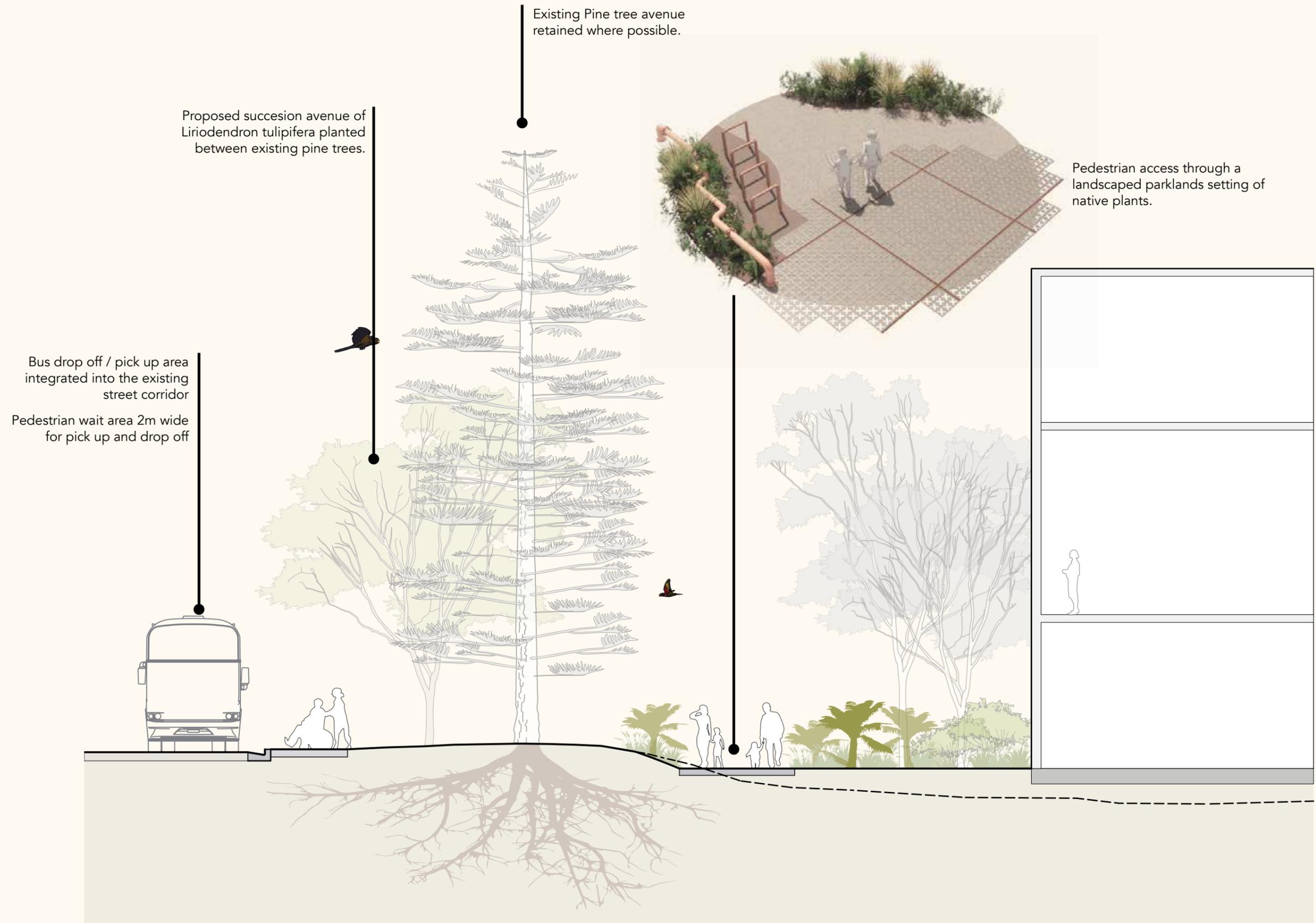
Refer to Civil Engineer drawings for Car Park and road layout

Legend

- Property boundary
- Building line
- Services easements
- Existing trees
- + Proposed avenue trees
- + Proposed native trees
- Markers
- Infilled grasscrete pavement
- Steel edge 3m grid
- Proposed concrete stairs and ramps
- Gravel
- Proposed concrete paths
- Existing pathways
- Mass planting



Parklands



Forecourt

The Forecourt operates as the central space - a threshold between the building and the broader landscape. The forecourt supports programmed and informal use, accommodating a range of visitors while anchoring the building into site. Landscaped edges encourage gathering and picnicking across the existing lawns.

1. Entry path with wayfinding node
2. Concrete arrival seat
3. Forecourt plaza
4. Circular seat with table arrangements
5. Circular table with seat arrangements
6. Circular bar table with seat arrangements
7. Native planting areas
8. Parkland entry point
9. Existing lawn area
10. Building entry
11. Ramp access

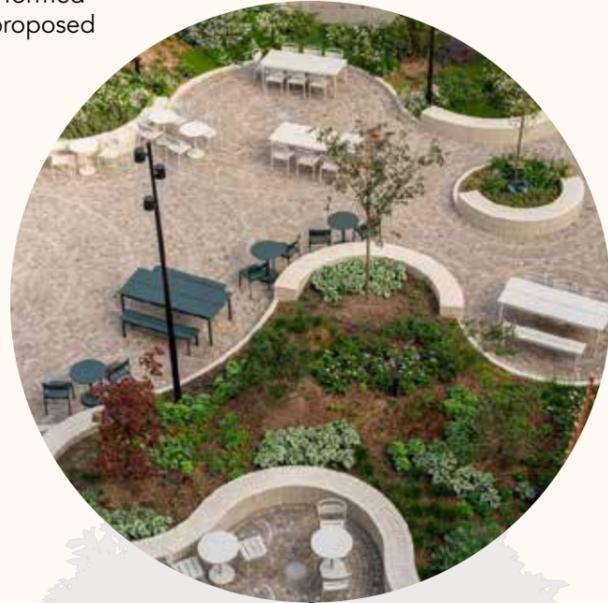
Legend

- Property boundary
- Building line
- Services easements
- Existing trees
- Proposed avenue trees
- Proposed native trees
- Insitu circular furniture
- Flexible furniture
- Markers
- Infilled grasscrete pavement
- Steel edge 3m grid
- Proposed concrete stairs and ramps
- Gravel
- Proposed concrete paths
- Existing pathways
- Mass planting



Forecourt

Organic garden beds formed around existing and proposed tree planting



Soak gardens collecting and filtering stormwater surface run-off



Outdoor dining arrangements for multiple group sizes.



Forecourt

The Forecourt operates as the central space - a threshold between the building and the broader landscape. The forecourt supports programmed and informal use, accommodating a range of visitors while anchoring the building into site.

During low season there are 55 clustered seats in the forecourt. This increases in the high season to 87 single seats with 15 2-seater tables and 20 4-seater tables due to the flexible seating arrangement, supporting seasonal activation.



Circular edges are designed as a continuous table top or bench seating, to allow for seasonal activation and flexible use.

Table Island - Low Season

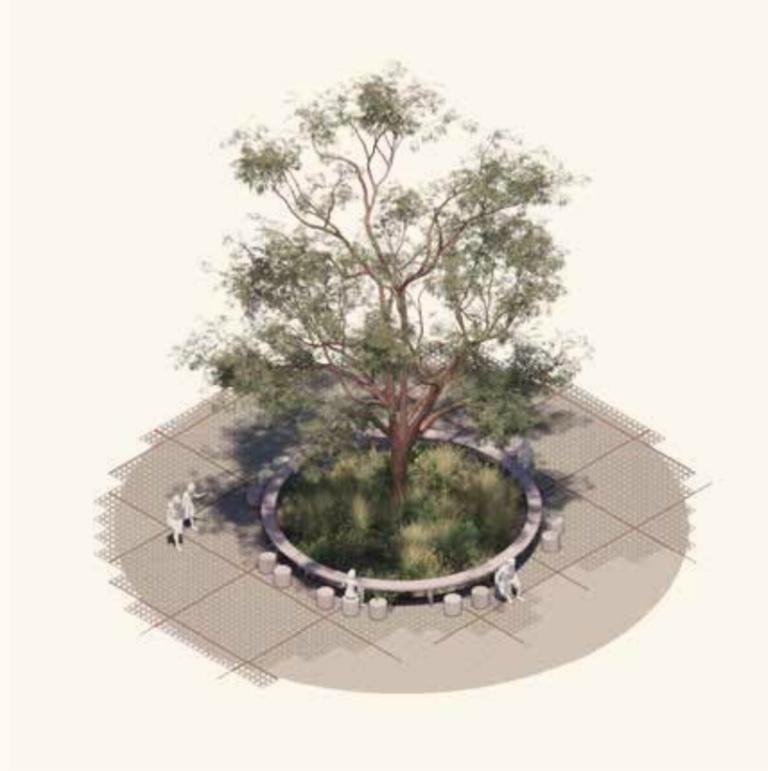
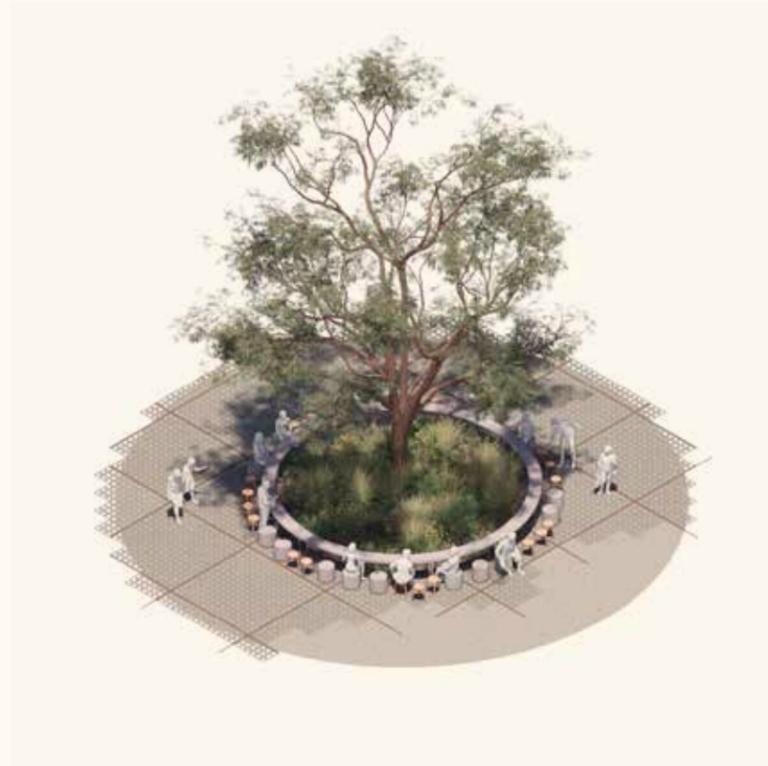


Table Island - High Season



Seating Island - Low Season



Seating Island - High Season



Rivers Edge

As the most ecologically sensitive and culturally significant zone, the rivers edge invites visitors to engage with the Derwent (timumili minanya) as they arrive by Ferry. This space supports environmental regeneration and cultural protection. It is the key start point of the site's spatial journey - with most guest arriving by ferry.

1. Existing rail trail retained for buggy access
2. 1:10 buggy access only (no public access) - 3m wide gravel path
3. Concrete stepped access path - exposed aggregate concrete footpath - 7/10mm Limestone finish
4. 1:18 concrete ramped access with corten balustrade
5. Existing vegetation management
6. Wetland cleaning stormwater
7. Tredwell grate jetty - charcoal (refer to documents by others)
8. 4 x 10m Gravel buggy waiting area accommodating 24 people. Sandstone block walls provided for retaining and seating, with accessible bench seating fixed on top.

Legend

- - - Property boundary
- Building line
- Services easements
- Existing trees
- Proposed avenue trees
- Proposed native trees
- Infilled grasscrete pavement
- Steel edge 3m grid
- Proposed concrete stairs and ramps
- Gravel
- Proposed concrete paths
- Existing pathways
- Mass planting
- Native grass planting
- Wetland planting



Service Yard

The Service Yard plays a supporting, operational role in the site's function. While not a public-facing space, it is essential to the day-to-day running of the visitor experience. Where visible, it should be considered with care, softened, or interpreted in ways that maintain the integrity of the broader landscape narrative.

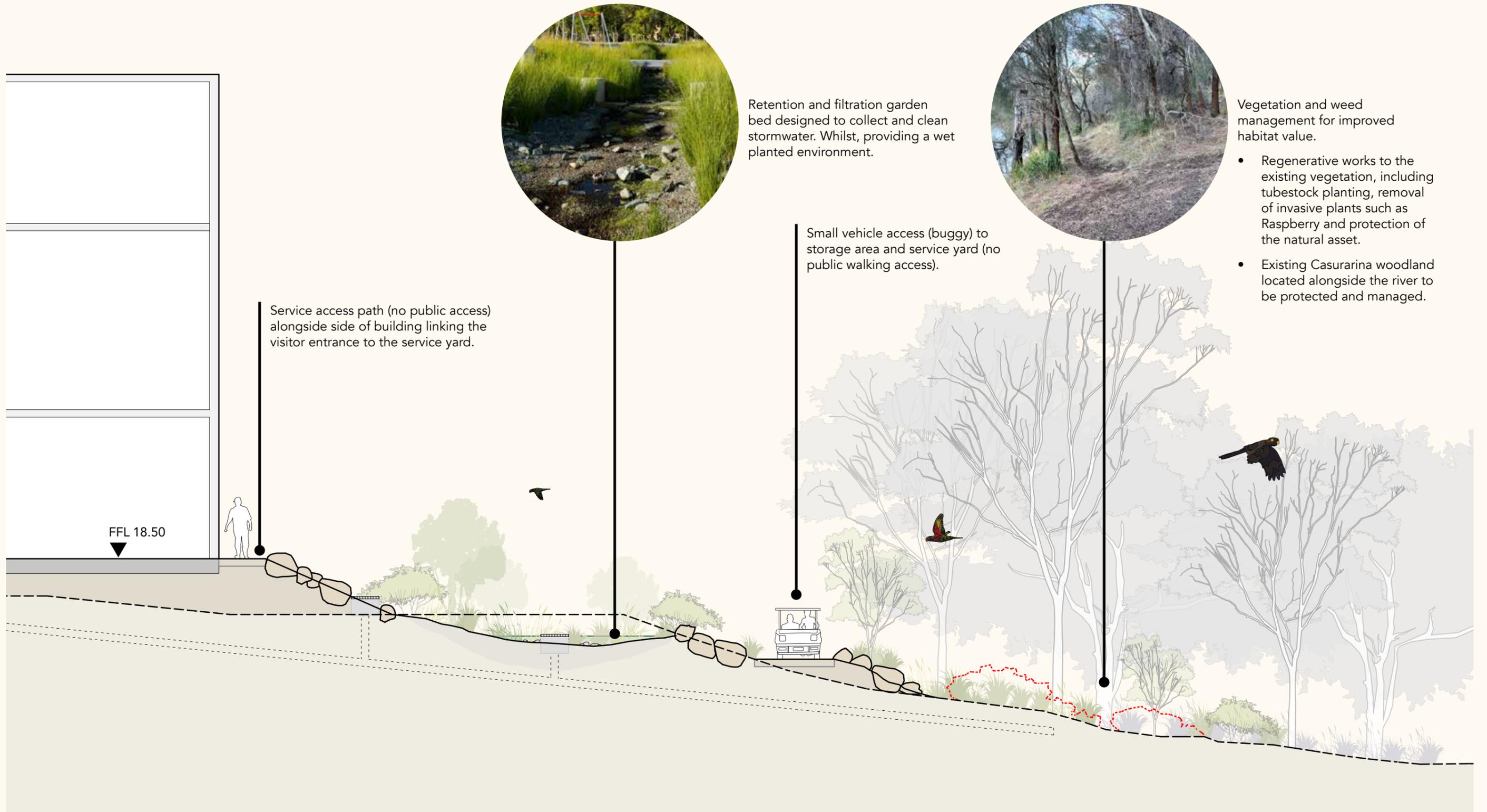
1. Corten access steps (no public access)
2. Gravel service access path
3. Buggy access path (no public access)
4. Bio-filtration wetland planted with endemic plants.
5. Existing vegetation management
6. Buggy parking and charging area (no public access)
7. Servicing area (no public access)

Legend

- Property boundary
- Building line
- Services easements
- Existing trees
- Proposed avenue trees
- Proposed native trees
- Flexible furniture
- Markers
- Infilled grasscrete pavement
- Steel edge 3m grid
- Proposed concrete stairs and ramps
- Gravel
- Proposed concrete paths
- Existing pathways
- Mass planting
- Native grass planting
- Wetland planting



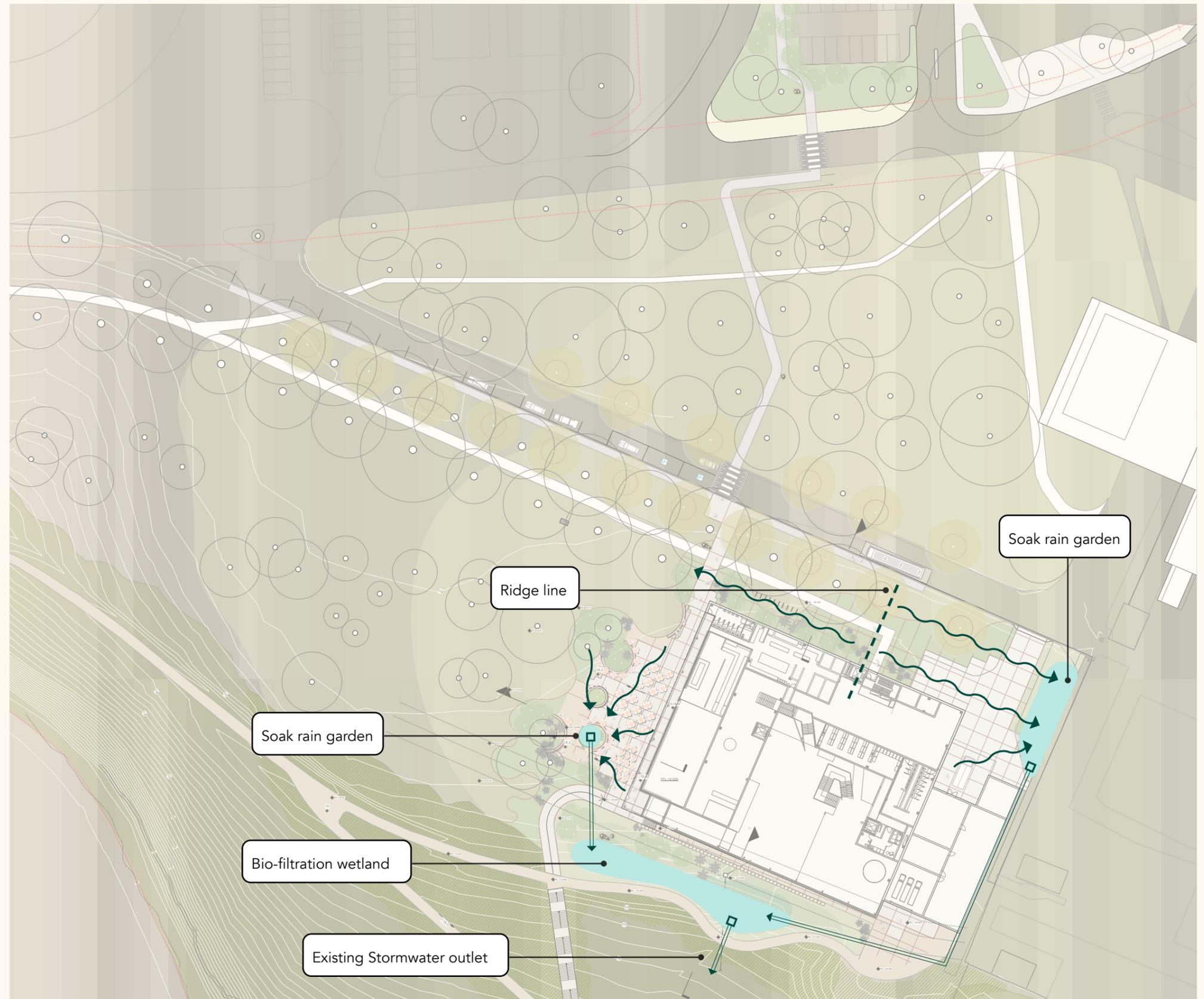
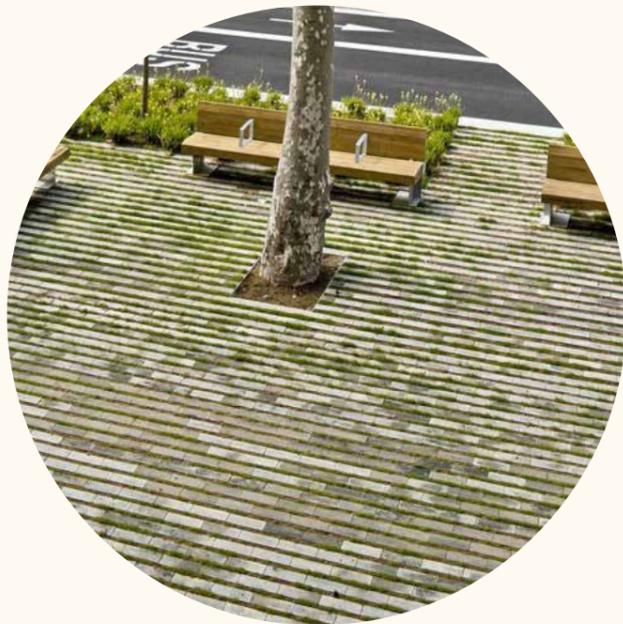
Service Yard



PART 3: COMPONENTS

Water Management

The water management approach embeds water-sensitive urban design principles into the site's structure. Overland flows are directed through subtle grading towards planted swales, allowing for passive irrigation and ground infiltration. Permeable paving is used extensively across circulation zones to maximise site permeability, enabling water to return to the natural hydrological cycle. Water is guided towards a wetland zone on the southern side of the visitor centre. This system provides both functional and visual amenity — supporting on-site water detention requirements while enhancing the site's habitat values.



Planting

The planting embraces an endemic palette that reinforces the site's natural character while supporting the parkland setting of the development. The design adopts a loose, informal structure characteristic of parkland environments — open lawns are interspersed with clusters of native canopy trees, understorey shrubs, and grasses. These groupings provide visual permeability while softening the building's edges, allowing it to sit comfortably within the broader landscape. Succession planting for the avenue will begin, using the Tulip Tree (*Liriodendron tulipifera*) as the future avenue species.



TREES

Species	Common Name	Pot Size	Mature Size (H x W)
Banksia marginata	Silver Banksia	45L	5–12m x 3–6m
Banksia serrata	Saw Banksia	45L	5–10m x 3–5m
Eucalyptus pauciflora	Snow Gum	200L	5–15m x 4–8m
Liriodendron tulipifera	Tulip Tree	200L	6–10m x 4–6m

SHRUBS

Species	Common Name	Pot Size	Mature Size (H x W)
Adenanthos sericeus	Woolly Bush	300mm	2–4m x 2–3m
Banksia (Candle Sticks)	Candle Stick Banksia	300mm	2–4m x 1.5–2.5m
Bauera rubioides	River Rose	140mm	1–2m x 1–2m
Leucophyta brownii	Cushion bush	200mm	0.5–1m x 1m
Pimelea flava	Yellow Rice Flower	200mm	0.3–1m x 0.5–1m
Tasmania lanceolata	Mountain Pepper	200mm	2–5m x 1–3m
Westringia brevifolia	Coastal Rosemary	300mm	0.5–1.2m x 1–1.5m

GRASSES

Species	Common Name	Pot Size	Mature Size (H x W)
Dichelachne crinita	Longhair Plume Grass	TUBE	0.6–1m x 0.4m
Dianella revoluta	Black-anther Flax Lily	TUBE	0.4–0.7m x 0.3–0.5m
Diplarrena moraea	Native Iris	TUBE	0.3–0.6m x 0.4–0.6m
Themeda triandra	Kangaroo Grass	TUBE	0.4–1m x 0.5–1m

FLOWERS

Species	Common Name	Pot Size	Mature Size (H x W)
Bulbine bulbosa	Bulbine Lily	140mm	0.3–0.6m x 0.3m
Chrysocephalum apiculatum	Yellow Buttons	140mm	0.2–0.3m x 0.4–0.6m
Correa reflexa	Native Fuchsia	200mm	0.3–2m x 1–2m
Grevillea lanigera	Woolly Grevillea (prostrate)	200mm	0.3–0.6m x 1.5–2m
Kennedia prostrata	Running Postman	140mm	0.2–0.3m x 1–2m (trailing)
Olearia phlogopappa	Dusty Daisy Bush	140mm	1–2m x 1.5m
Ozothamnus diosmifolius	Rice Flower	140mm	1–2m x 1m
Scleranthus biflorus	Twin-flower Knawel	140mm	0.1–0.2m x 0.3–0.5m
Xerochrysum viscosum	Sticky Everlasting Daisy	140mm	0.3–0.5m x 0.4m



Example of a colourful display of natives in a semi formal setting at the Government House Sydney by Jane Irwin Landscape Architecture.

Trees



Banksia serrata - Saw Banksia



Banksia marginata - Silver Banksia



Eucalyptus pauciflora - Snow Gum

Flower and Grasses



Pimelea flava - Yellow Rice Flower



Leucophyta brownii - Cushion bush



Grevillea langierum - Woolly Grevillea Prostrate



Dianella revoluta - Black-anther Flax Lily



Dichelachne crinita - Longhair Plume Grass



Diplarrena moraea - Native Iris



Correa reflexa - Native Fuchsia



Chrysocephalum apiculatum - Yellow Buttons



Xerochrysum viscosum - Sticky Everlasting Daisy

TREES

Species	Common Name	Pot Size	Mature Size (H x W)
Leptospermum lanigerum	Woolly Teatree	300mm	3-5m x 2-3m
Leptospermum scoparium	Common Teatree	300mm	2-5m x 1.5-3m
Melaleuca ericifolia	Coast Paperbark	45L	5-9m x 3-6m
Melaleuca squamea	Swamp Honeymyrtle	300mm	1-2.5m x 1-2m

REEDS, RUSHES & GRASSES

Species	Common Name	Pot Size	Mature Size (H x W)
Baumea tetragona	Square Twigsedge	TUBE	0.5-1m x 0.4-0.6m
Carex appressa	Tall Sedge	TUBE	0.6-1m x 0.5-1m
Dianella tasmanica	Tasman Flax Lily	TUBE	0.6-1m x 0.4-0.8m
Ficinia nodosa	Knobby Club Rush	TUBE	0.8-1.2m x 0.5-1m
Ficinia pallida	Pale Rush	TUBE	0.6-1m x 0.3-0.5m
Phragmites australis	Common Reed	TUBE	1-1.5 x 0.5-3m
Poa labillardierei	Common Tussock Grass	TUBE	0.6-1m x 0.5-1m



Example of a managed wetland system, with a thriving wet planting palette (Cocoro Western Treatment Plant, Vic by REALMstudios).

Trees



Melaleuca ericifolia - Coast Paperbark



Melaleuca squamea - Swamp Honeymyrtle



Leptospermum scoparium - Common Teatree

Sedges, Rushes and Grasses



Poa labillardierei - Common Tussock Grass



Ficinia pallida - Pale Rush



Ficinia nodosa - Knobby Club Rush



Dianella tasmanica - Tasman Flax Lily



Carex appressa - Tall Sedge



Baumea tetragona - Square Twigsedge

TREES

Species	Common Name	Pot Size	Mature Size (H x W)
<i>Allocasuarina verticillata</i>	Drooping Sheoak	TUBE	4-10m x 3-6m
<i>Eucalyptus viminalis</i>	White Gum	TUBE	15-30m x 10-15m

UNDERSTORY

Species	Common Name	Pot Size	Mature Size (H x W)
<i>Beyeria viscosa</i>	Pinkwood	TUBE	2-4m x 1.5-3m
<i>Bursaria spinosa</i>	Prickly Box	TUBE	2-4m x 2-3m
<i>Dodonaea viscosa</i>	Broadleaf Hopbush	TUBE	2-5m x 2-3m
<i>Lomandra longifolia</i>	Sagg	TUBE	0.5-1 x 1-2m
<i>Rytidosperma caespitosum</i>	Wallaby Grass	TUBE	0.3-0.8 x 1m
<i>Rhagodia candolleana</i>	Coastal Saltbush	TUBE	1-2m x 2-3m



Current infestations of weeds in the understory such as Raspberry.

Example of a healthy Casuarina woodland ecology along the Sheoak Walk (Shag Bay, Hobart), with understory.

Trees



Eucalyptus viminalis - White Gum



Allocasuarina verticillata - drooping Sheoak

Sedges, Rushes and Grasses



Beyeria viscosa - Pinkwood



Rhagodia candolleana - Coastal Saltbush



Dodonaea viscosa - Broadleaf Hopbush



Lomandra longifolia - Sagg



Rytidosperma caespitosum - Wallaby Grass

Materials + Furniture

The materials palette is grounded in a contextual and restrained approach, designed to sit comfortably within the parkland setting. Finishes prioritise durability, low maintenance, and a natural aesthetic that weathers gracefully over time. Hardscape materials such as gravel and permeable concrete are selected for their textural quality and compatibility with the site's permeability objectives.

Paving treatments transition from more structured finishes near the building to looser, more informal materials within the landscape, reinforcing the shift from built to natural environments. Recycled and locally sourced materials are prioritised to reduce embodied energy and reflect a sense of place.



Hardscape apron around the building allowing circulation and dining opportunity. Grasscrete incased in a corten steel grid provides a clear structure to the plane.



The steel grid continues out into the landscape and allows the materiality to transition into gravel aggregates and planting.



Organic concrete forms creating places of occupation for visitors.

Pavements



Grasscrete paving with concrete, gravel or planting infills



Compacted gravel paths and loose mineral mulch - Chocolate Rock 20mm



Exposed aggregate concrete footpath - DMXST/046 Ice Rock / 7/10mm Limestone

Walls and Edges



Concrete seating walls



Corten steel edges and grid

Furniture and Features



Bollard - coloured gloss tbc w. timber infill



Bike hoops - powder-coat colour tbc

Markers

The wayfinding is intuitive, engaging, and seamlessly integrated into the parklands. Rather than relying solely on traditional signage, the strategy uses spatial cues and playful interventions to guide movement and enhance the visitor experience.

Pipes linking back to the factory in an imaginative way are integrated into the landscape as sculptural elements, directional cues, or interpretive moments — inviting exploration and storytelling while helping to orient visitors.



End Marker

At the end of framed viewlines, a bold pipe form arcs skyward within the landscape, drawing the eye and anchoring the experience. These sculptural features celebrate key sightlines and become landmarks within the parkland setting.



Interpretive Panel Element

Along main routes, select pipes are adapted to house interpretive content or site maps. These interactive markers engage visitors of all ages and embed learning into the landscape.



Junction Marker

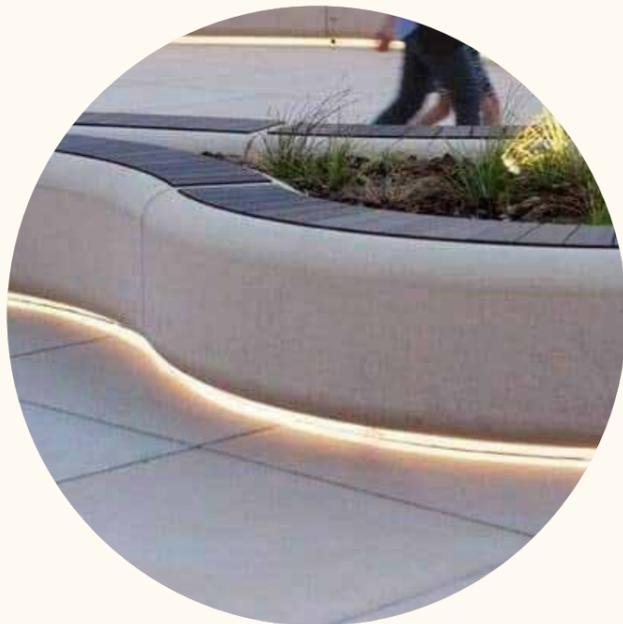
At key pathway junctions, pipes are embedded into the ground, forming sculptural totems that signal choice points. Their playful arrangement encourages pause and exploration, while subtly guiding movement without the need for overt signage.



Lighting

The lighting strategy will be a low-impact, pedestrian-focused approach that adopts dark sky and environmental sensitivity principles. Light levels are carefully calibrated to ensure safety and comfort while minimising light spill, glare, and disruption to local fauna.

Lighting is used sparingly and purposefully, guiding movement through the site. Warm-coloured, low-height fixtures are integrated within the landscape to preserve the night-time character of the parkland setting. Feature lighting is reserved for select interpretive elements, extending their presence into the evening without dominating the broader visual environment.



Bollard lighting continues to visitor carpark

Lighting within road reserve to Australian standards subject to detail design

Bollard lighting along arrival path

Feature uplights

Integrated seat lighting

Feature uplights

Integrated handrail lighting

Lighting continues to jetty

REALMstudios

city making + liveability

REALMstudios Pty Ltd
ABN 39165483330

enquiries@realmstudios.com

www.REALMstudios.com

Sydney

Level 3, Suite 303
61 Marlborough Street
Surry Hills NSW 2010
+61 423 679 095
cate.wallace@realmstudios.com

Melbourne

Gnd Floor, 79-81 Coppin St
Richmond
Melbourne, VIC 3121
jon.shinkfield@realmstudios.com
+61 411 551 512

Perth

Level 2, Commonwealth
Bank Building
242 Murray Street
Perth WA 6000
damien.pericles@realmstudios.com
+61 456 714 655

Hobart

89 Macquarie Street
Hobart
TAS 7000
alaric.hellawell@realmstudios.com
+61 431 454 492

Brisbane

611 Stanley St
Woolloongabba
QLD 4102
amalie.wright@realmstudios.com
+61 416 185 590



NOTES
 This drawing should be read in conjunction with REALMstudios PTY LTD prepared specifications and details. Should a conflict exist, advice and direction should be sought from REALMstudios prior to undertaking any construction works. All levels shown are in metres Australian height datum, and dimensions in millimetres unless otherwise noted.
 All information relating to architectural, civil, structural, services and other works as represented on this drawing as prepared by REALMstudios is for REALMstudios' reference and coordination purposes only. All documentation to these and other works outside the scope defined for REALMstudios should be referred to the relevant consultants' drawings and specification for details. This drawing is confidential and shall only be used for the purposes of this project.

CERTIFICATION
 This drawing shall not be used for construction purposes unless Revised 1 Issued for Construction and signed and approved by the Certifying Landscape Architect. Verify all dimensions on site before commencing work or order materials. Refer any discrepancy to Landscape Architect before proceeding with the works.
DO NOT SCALE FROM THE DRAWING

NOT FOR CONSTRUCTION

WARNING
 Services shown on this drawing are approximate only. The exact location is to be confirmed on site by contractor prior to commencement of work.

DATE	REV	AMENDMENTS
25/07/2025	A	ISSUE FOR COORDINATION
22/08/2025	B	REVISED CIRCULATION FOR COORDINATION
1/09/2025	C	REVISED CARPARK ACCESS FOR COORDINATION
12/11/2025	D	REVISED CROSSINGS

Legend

- Property boundary
- Building line
- Services easements
- Existing trees
- Proposed avenue trees
- Proposed native trees
- In situ circular furniture
- Flexible furniture
- Markers
- Infilled grasscrete pavement
- Steel edge 3m grid
- Proposed concrete stairs and ramps
- Gravel
- Proposed concrete paths
- Existing pathways
- Mass planting
- Native grass planting
- Wetland planting

REALMstudios
 Melbourne Shop 2, 216 Albion Street Brunswick, VIC 3056
 Sydney Level 4, 68 Wentworth Avenue Surry Hills 2010
 Perth Level 2, Commonwealth Bank Building 242 Murray Street, WA 6000
 Hobart 89 Macquarie Street Hobart, TAS 7000

CLIENT
CHOCOLATE EXPERIENCE AT CADURY

PROJECT
CHOCOLATE EXPERIENCE AT CADURY
 100 CADBURY ROAD, CLAREMONT, TASMANIA 7011

0 10 15 20 25 m

DRAWING
Overall Landscape Plan

DRAWN	CHECKED	SCALE @ A1
BR	AH	1:500

STATUS
FOR COORDINATION
NOT FOR CONSTRUCTION

DRAWING NO.	REVISION
LA-001	D

REV.	ZONE	DESCRIPTION	DATE	APPVD
REVISIONS				

Plan View

Baluster Orientation

Type 1 Panels - Verge Traffic Side

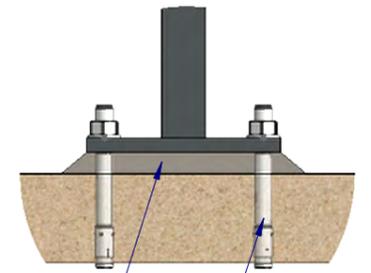
Type 1 Panels - Median

Type 1 Panels - Verge Traffic Side

Traffic Direction →

← Traffic Direction

DETAIL A
SCALE 1:8



MINIMUM 25 mm MORTAR PAD (WHEN REQUIRED)

M20 x 160
MASONRY ANCHORS

2000
Between Posts Center line

2000
Between Posts Center line

100

90

40

50

1375

1325

Nom. 25

Nom. 25

End Post

Intermediate Post

Intermediate Post

M20 x 160
MASONRY ANCHORS

M20 CHEMSET OR MASONRY ANCHORS TO PROTRUDE MINIMUM 70 mm INTO EXISTING CONCRETE.

MINIMUM 25 mm MORTAR PAD (WHEN REQUIRED)

Front View

Panel Type	Location	Panel Part No.
Type 1	Verge Type	PF-VP-T1-2000-AP
Type 1	Median Type	PF-MP-T1-2000-AP

Post Type	Location	Post Part No.	Cap (Cross Break) No.
Base Plate	End	PF-PB-IS-1375-AP	N/A
Base Plate	Intermediate	PF-PB-IS-1325-AP	PF-MX-MX-0001-AP

MATERIAL:		
FINISH:		
STATUS	NAME	DATE
DRAWN	J. An	3/01/2023
CHK'D	T. Colquhoun	3/01/2023
APPV'D	H. Wallace	3/01/2023

SafeDirection
CRASH BARRIER SOLUTIONS

COPYRIGHT All rights reserved. These drawings, plans and specifications and the copyright therein are the properties of Safe Direction Pty Ltd, and must not be used, reproduced or copied wholly or in part without written permission.

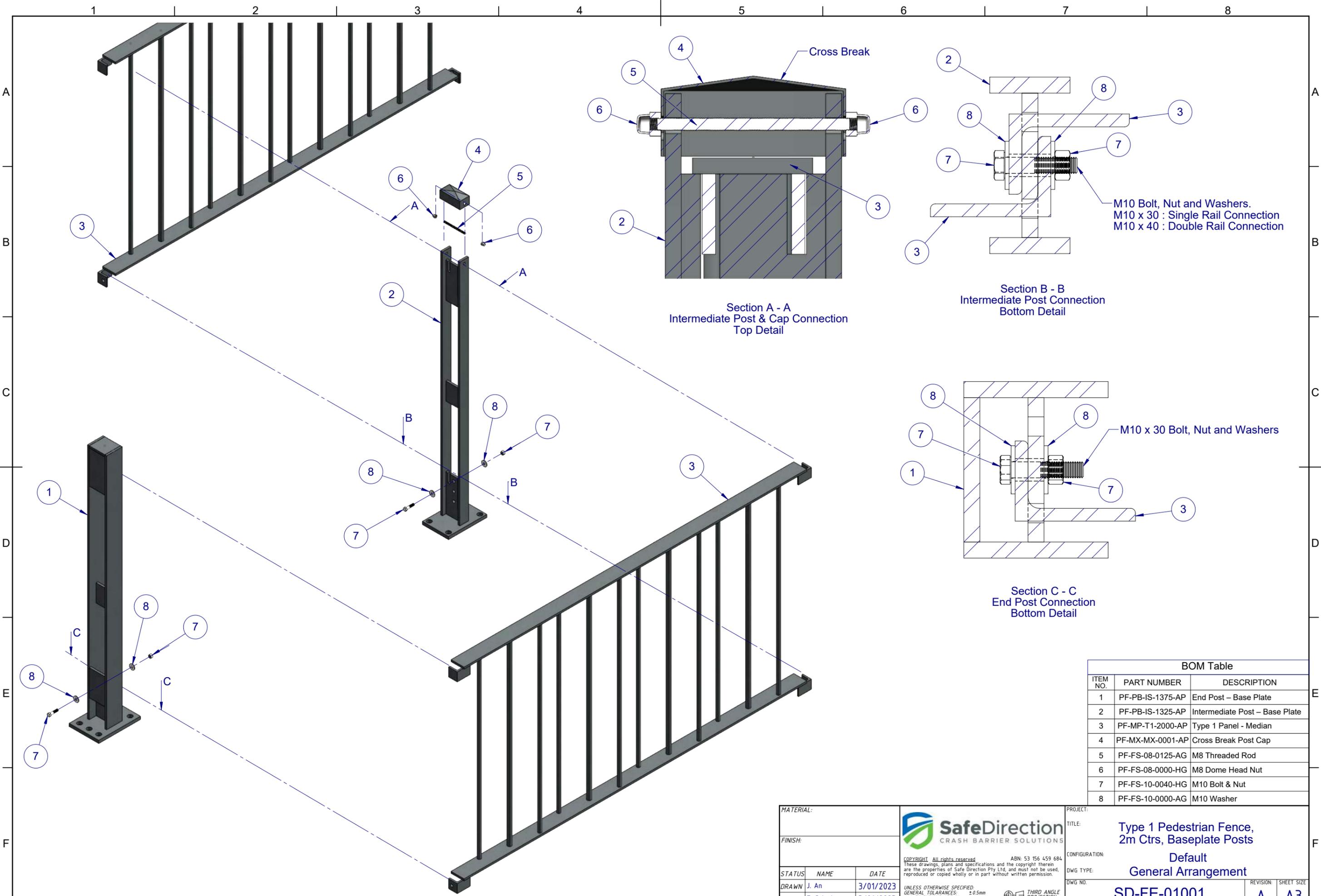
ABN: 53 156 459 684

UNLESS OTHERWISE SPECIFIED: GENERAL TOLERANCES: ±0.5mm ALL DIMENSIONS ARE IN: mm

THIRD ANGLE PROJECTION

APPROVED

PROJECT:	Type 1 Pedestrian Fence, 2m Ctrs, Baseplate Posts		
TITLE:	Default General Arrangement		
CONFIGURATION:	Default		
DWG TYPE:	SD-FE-01001		
DWG NO.:	REVISION:	SHEET SIZE	
	A	A3	
WEIGHT:	DO NOT SCALE DRAWING	SCALE: 1:15	SHEET 1 of 4



BOM Table		
ITEM NO.	PART NUMBER	DESCRIPTION
1	PF-PB-IS-1375-AP	End Post – Base Plate
2	PF-PB-IS-1325-AP	Intermediate Post – Base Plate
3	PF-MP-T1-2000-AP	Type 1 Panel - Median
4	PF-MX-MX-0001-AP	Cross Break Post Cap
5	PF-FS-08-0125-AG	M8 Threaded Rod
6	PF-FS-08-0000-HG	M8 Dome Head Nut
7	PF-FS-10-0040-HG	M10 Bolt & Nut
8	PF-FS-10-0000-AG	M10 Washer

MATERIAL:			PROJECT:	
FINISH:			TITLE: Type 1 Pedestrian Fence, 2m Ctrs, Baseplate Posts	
STATUS:		CONFIGURATION: Default		REVISION: SHEET SIZE
DRAWN J. An 3/01/2023		DWG TYPE: General Arrangement		
CHK'D T. Colquhoun 3/01/2023		DWG NO. SD-FE-01001		A A3
APPV'D H. Wallace 3/01/2023		WEIGHT:		SCALE: 1:13 SHEET 2 of 4
<small>UNLESS OTHERWISE SPECIFIED: GENERAL TOLERANCES: ±0.5mm ALL DIMENSIONS ARE IN: mm</small>		<small>THIRD ANGLE PROJECTION</small>		<small>DO NOT SCALE DRAWING</small>
<small>APPROVED</small>		<small>APPROVED</small>		<small>SCALE: 1:13 SHEET 2 of 4</small>



ITEM NO.	PART NUMBER	DESCRIPTION
1	PF-PB-IS-1375-AP	End Post – Base Plate
2	PF-PB-IS-1325-AP	Intermediate Post – Base Plate
3	PF-MP-T1-2000-AP	Type 1 Panel - Median
4	PF-MX-MX-0001-AP	Cross Break Post Cap
5	PF-FS-08-0125-AG	M8 Threaded Rod
6	PF-FS-08-0000-HG	M8 Dome Head Nut
7	PF-FS-10-0040-HG	M10 Bolt & Nut
8	PF-FS-10-0000-AG	M10 Washer

Panel Type	Location	Panel Part No.
Type 1	Verge Type	PF-VP-T1-2000-AP
Type 1	Median Type	PF-MP-T1-2000-AP

Post Type	Location	Post Part No.	Cap (Cross Break) No.
Base Plate	End	PF-PB-IS-1375-AP	N/A
Base Plate	Intermediate	PF-PB-IS-1325-AP	PF-MX-MX-0001-AP

MATERIAL:		
FINISH:		
STATUS	NAME	DATE
DRAWN	J. An	3/01/2023
CHK'D	T. Colquhoun	3/01/2023
APPV'D	H. Wallace	3/01/2023

SafeDirection
CRASH BARRIER SOLUTIONS

COPYRIGHT All rights reserved. These drawings, plans and specifications and the copyright therein are the properties of Safe Direction Pty Ltd, and must not be used, reproduced or copied wholly or in part without written permission.

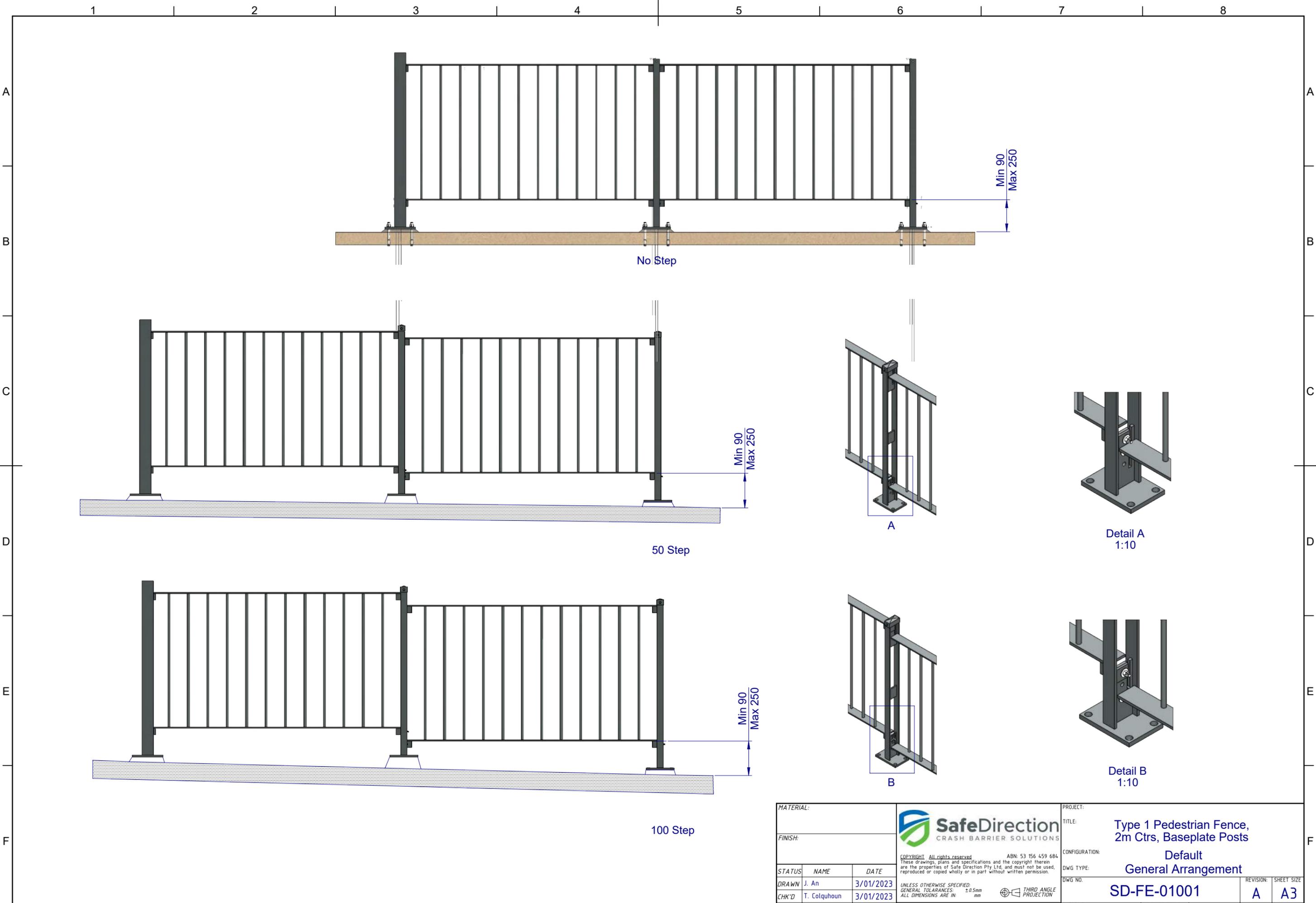
ABN: 53 156 459 684

UNLESS OTHERWISE SPECIFIED: GENERAL TOLERANCES: ±0.5mm ALL DIMENSIONS ARE IN: mm

THIRD ANGLE PROJECTION

APPROVED

PROJECT:	TITLE: Type 1 Pedestrian Fence, 2m Ctrs, Baseplate Posts	
CONFIGURATION:	Default	
DWG TYPE:	General Arrangement	
DWG NO:	SD-FE-01001	REVISION: SHEET SIZE
WEIGHT:	SCALE: 1:25	A A3
DO NOT SCALE DRAWING	SCALE: 1:25	SHEET 3 of 4



MATERIAL:			 SafeDirection CRASH BARRIER SOLUTIONS <small>COPYRIGHT All rights reserved. ABN: 53 156 459 684 These drawings, plans and specifications and the copyright therein are the properties of Safe Direction Pty Ltd, and must not be used, reproduced or copied wholly or in part without written permission.</small>	PROJECT:	
FINISH:				TITLE: Type 1 Pedestrian Fence, 2m Ctrs, Baseplate Posts	
STATUS	NAME	DATE	CONFIGURATION: Default		
DRAWN	J. An	3/01/2023	DWG TYPE: General Arrangement		
CHK'D	T. Colquhoun	3/01/2023	DWG NO. SD-FE-01001	REVISION: A	SHEET SIZE: A3
APPV'D	H. Wallace	3/01/2023	WEIGHT:	SCALE: 1:30	SHEET 4 of 4
<small>UNLESS OTHERWISE SPECIFIED: GENERAL TOLERANCES: ±0.5mm ALL DIMENSIONS ARE IN: mm</small>			<small>THIRD ANGLE PROJECTION</small> APPROVED		

COLLECTIVE ENGINEERING

MULTI-DISCIPLINE SERVICES

SKETCHES

CHOCOLATE EXPERIENCE AT CADBURY

GLENORCHY CITY COUNCIL
 PLANNING SERVICES
 APPLICATION No. PLN-25-307
 DATE RECEIVED 16 October 2025

KEY ASSUMPTIONS:

- SEPARATE TITLE TO FACTORY
- NO GENERATOR PROVISION
- NO DAS PROVISION
- AUTHORITY INPUT REQUIRED
- REFINED LOADS AND ART PROCESSES DESIGN INPUT TBC
- ALL INFRASTRUCTURE FOR VISITORS CENTRE IS ON TITLE
- KIOSK SUBSTATION ASSUMED
- FINAL SMOKE EXHAUST VOLUMES FOR ATRIUM TO BE ADVISED BY THE FIRE ENGINEER



DRAWING ISSUE HISTORY					
REV	DATE	DESCRIPTION	DRW	APP	CLIENT
F	19/09/25	PRELIMINARY SERVICES SKETCH	VT	BBV	
E	17/09/25	PRELIMINARY SERVICES SKETCH	MKK	GWH	
D	18/07/25	PRELIMINARY SERVICES SKETCH	SK	GWH	
C	14/04/25	PRELIMINARY SERVICES SKETCH	DA	GWH	
B	10/06/25	PRELIMINARY SERVICES SKETCH	DA	GWH	
A	16/04/25	PRELIMINARY SERVICES SKETCH	GWH	GWH	

CHOCOLATE EXPERIENCE No.2

CUMULUS

CHOCOLATE EXPERIENCE AT CADBURY CLAREMONT TASMANIA, 7011

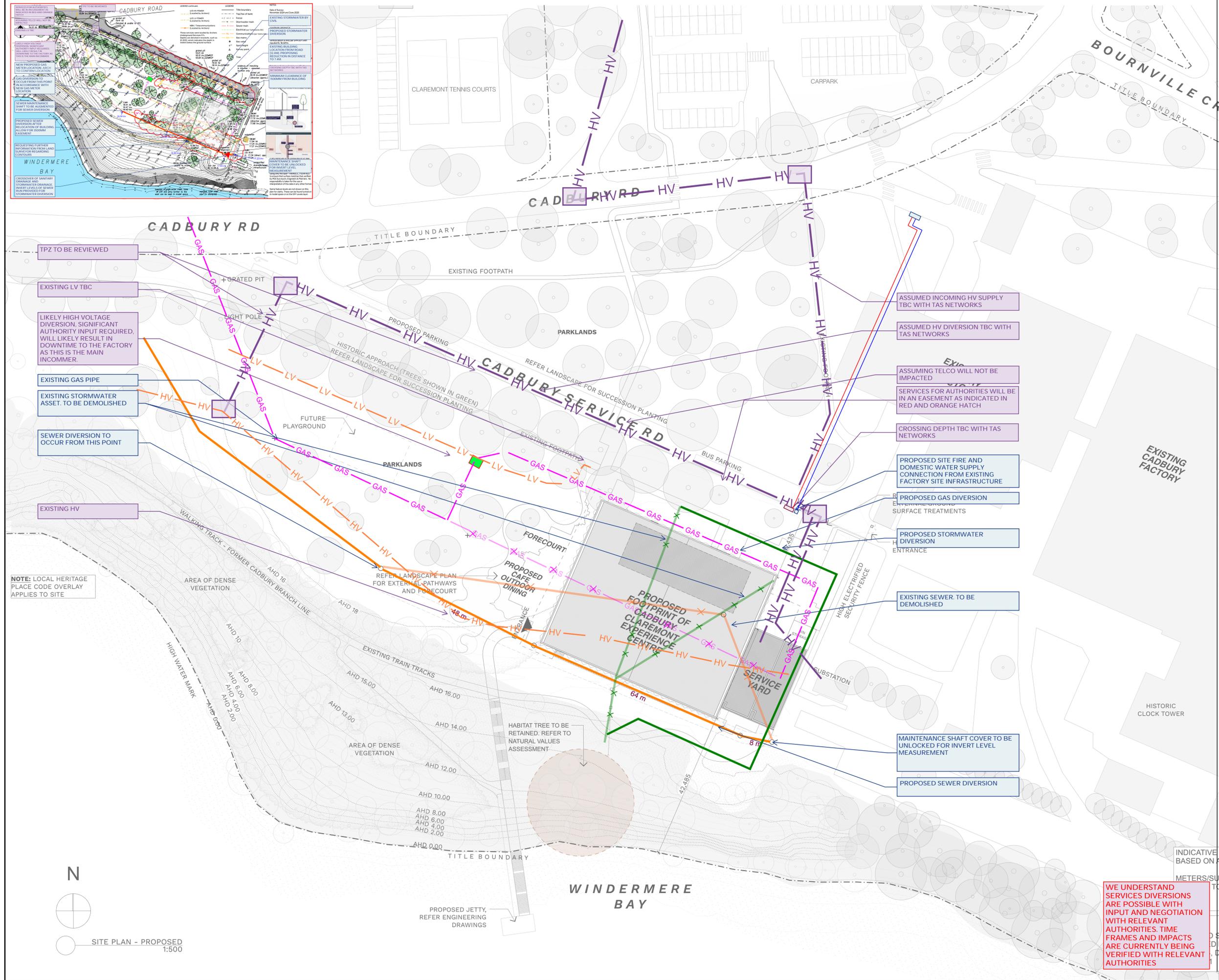
MECHANICAL SERVICES COVER PAGE PROPOSED LAYOUT

REPRODUCTION NOTE: THIS DRAWING HAS BEEN CREATED USING COLOURED ELEMENTS. ALL DRAWINGS FROM COLLECTIVE ENGINEERING MUST BE VIEWED AND PRINTED IN COLOUR. ANYONE WHO DOES NOT FOLLOW THESE INSTRUCTIONS DOES SO AT THEIR OWN RISK

MODELLER
ENGINEER
DIRECTOR

MULTI-DISCIPLINE SERVICES PRELIMINARY ISSUE NOT FOR CONSTRUCTION

NTS	23297	MD-SK-001	F
-----	-------	-----------	---



REV	DATE	DESCRIPTION	DRW	APP
F	19/09/25	PRELIMINARY SERVICES SKETCH	VT	BBV
E	17/09/25	PRELIMINARY SERVICES SKETCH	MKK	GWH
D	18/07/25	PRELIMINARY SERVICES SKETCH	SK	GWH
C	14/04/25	PRELIMINARY SERVICES SKETCH	DA	GWH
B	10/06/25	PRELIMINARY SERVICES SKETCH	DA	GWH
A	16/04/25	PRELIMINARY SERVICES SKETCH	GWH	GWH

DRAWING ISSUE HISTORY

MODELLER	
ENGINEER	
DIRECTOR	

REPRODUCTION NOTE: THIS DRAWING HAS BEEN CREATED USING COLOURED ELEMENTS. ALL DRAWINGS FROM COLLECTIVE ENGINEERING MUST BE VIEWED AND PRINTED IN COLOUR. ANYONE WHO DOES NOT FOLLOW THESE INSTRUCTIONS DOES SO AT THEIR OWN RISK

CONTRACT NOTES

CHOCOLATE EXPERIENCE No.2 CLIENT
CUMULUS ARCHITECT

PROPOSED SITE LAYOUT

DRAWING TITLE

CHOCOLATE EXPERIENCE AT CADBURY CLAREMONT TASMANIA, 7011

PROJECT

MULTI-DISCIPLINE SERVICES PRELIMINARY ISSUE NOT FOR CONSTRUCTION

1:500	23297	MD-SK-001	F
-------	-------	-----------	---

WE UNDERSTAND SERVICES DIVERSIONS ARE POSSIBLE WITH INPUT AND NEGOTIATION WITH RELEVANT AUTHORITIES. TIME FRAMES AND IMPACTS ARE CURRENTLY BEING VERIFIED WITH RELEVANT AUTHORITIES

GENERALLY, THE FEASIBILITY OF PROPOSED OCCUPANCY SHALL BE REVIEWED HOLISTICALLY ACROSS THE DEVELOPMENT. INITIAL BRIEFING DOCUMENTATION COMBINED WITH CODE REQUIREMENTS INDICATE 1500-1700 OCCUPANTS WITHIN THE BUILDING - CLIENT TO CONFIRM FEASIBLE AND ACCEPTABLE.

FIRE PUMP ROOM
FIRE PUMP 5000MM X 5000MM
PROPOSED ALTERNATE LOCATION ADJACENT TO FIRE TANK INFRASTRUCTURE

ELECTRICAL SWITCHBOARD CUPBOARD
2200mm (W) x 600mm (D) INTERNAL. 600mm CLEAR ZONE FROM TIP OF DOOR SWING

ELECTRICAL SWITCHBOARD CUPBOARD RISER
2200mm (W) x 600mm (D) INTERNAL.
RISER TO ALIGN VERTICALLY UP BUILDING

GREASE INTERCEPTOR TRAP (INGROUND)
2.8m x 1.2m
DEPENDING CAFE AND KITCHEN SIZE. CAFE AND KITCHEN SIZE TBC.

EXTERNAL HYDRANTS. FINAL LOCATION TBC.
0.9m x 0.6m.

KITCHEN: KITCHEN EXHAUST AND MAKE-UP AIR RISERS TO ROOFTOP DISCHARGE/INTAKES ABOVE. ALLOW 2-OFF 0.65SQM RISERS TO SERVE COMMERCIAL COOKING LINES. IF SOLID FUEL/OPEN FLAME COOKING PROPOSED, ADDITIONAL RISERS AND EXHAUST TREATMENT MAY BE NECESSARY.

TOILET AREA: EXHAUST AIR RISER TO ROOFTOP DISCHARGE. ALLOW 0.25SQM RISER TO ROOF ABOVE

FURTHER INFORMATION REGARDING CHILLED WAREHOUSE/STORAGE AREAS REQUIRED.
ALLOW 0.6SQM EXHAUST RISER TO ROOF ABOVE, MAKE UP AIR VIA FACADE/LOADING BAY ROLLER

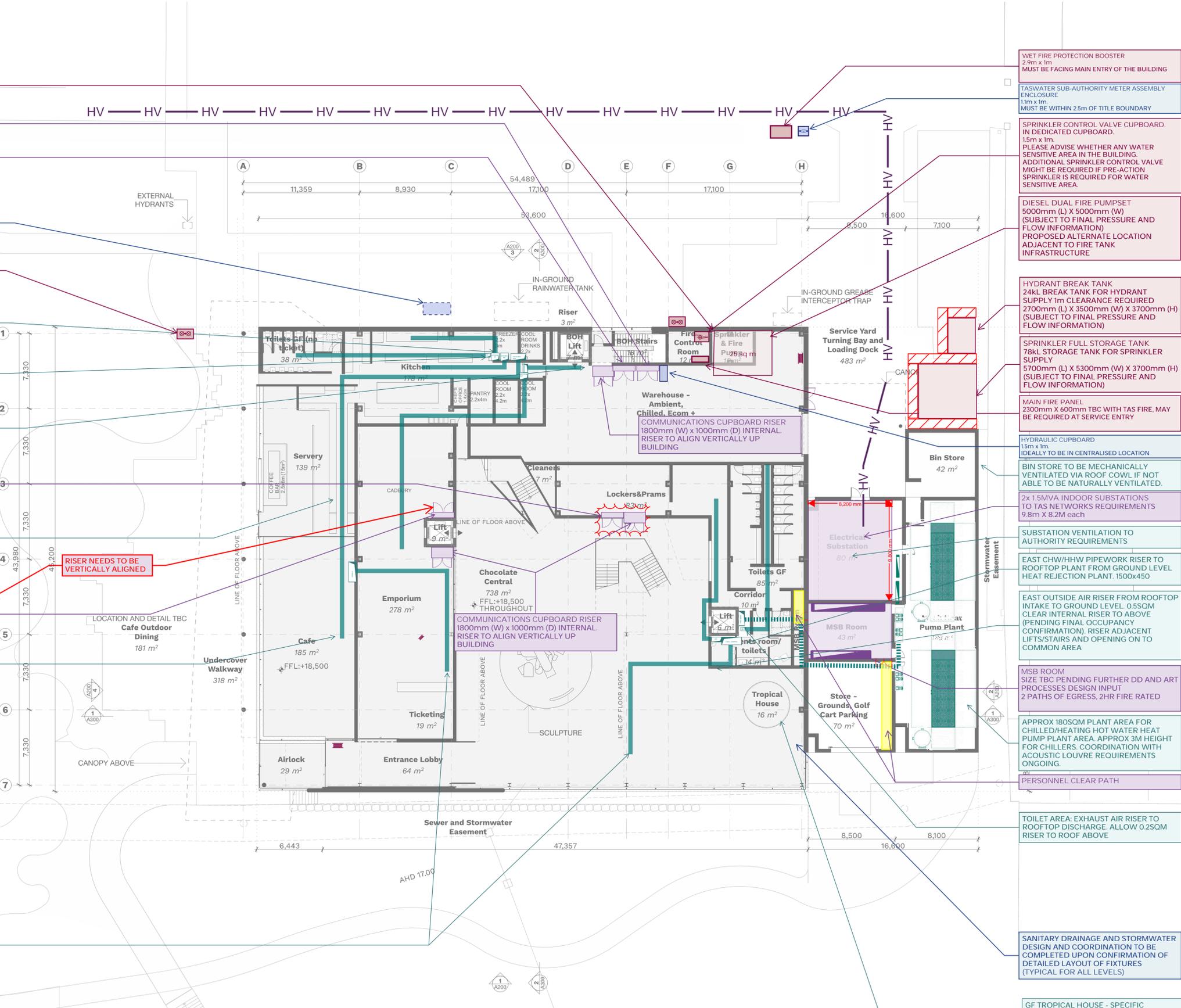
AV ELECTRICAL SWITCHBOARD CUPBOARD RISER
2200mm (W) x 600mm (D) INTERNAL.
600mm CLEAR ZONE FROM TIP OF DOOR SWING

KITCHEN AND BOH AREAS TO BE PROVIDED WITH 600-700MM MECHANICAL ZONE FOR UNIT INSTALLATION AND KITCHEN EXHAUST RETICULATION.

ELECTRICAL SWITCHBOARD CUPBOARD RISER
2200mm (W) x 600mm (D) INTERNAL.
RISER TO ALIGN VERTICALLY UP BUILDING

GENERALLY, ALLOW 600MM MECHANICAL ZONE TO FOH AREAS FOR DUCTWORK RETICULATION.

MAIN ATRIUM TO BE CONDITIONED VIA SIDE-WALL JET DIFFUSERS OR EQUIVALENT AT EACH LEVEL. SMOKE EXHAUST FROM HIGH LEVEL REQUIRED (PENDING FIRE ENGINEERING). MAKE-UP AIR VIA FACADE AT LOW LEVEL PROPOSED.



WET FIRE PROTECTION BOOSTER
2.9m x 1m
MUST BE FACING MAIN ENTRY OF THE BUILDING

TASWATER SUB-AUTHORITY METER ASSEMBLY ENCLOSURE
1.1m x 1m.
MUST BE WITHIN 2.5m OF TITLE BOUNDARY

SPRINKLER CONTROL VALVE CUPBOARD. IN DEDICATED CUPBOARD.
1.5m x 1m.
PLEASE ADVISE WHETHER ANY WATER SENSITIVE AREA IN THE BUILDING. ADDITIONAL SPRINKLER CONTROL VALVE MIGHT BE REQUIRED IF PRE-ACTION SPRINKLER IS REQUIRED FOR WATER SENSITIVE AREA.

DIESEL DUAL FIRE PUMPSET
5000mm (L) X 5000mm (W)
(SUBJECT TO FINAL PRESSURE AND FLOW INFORMATION)
PROPOSED ALTERNATE LOCATION ADJACENT TO FIRE TANK INFRASTRUCTURE

HYDRANT BREAK TANK
24KL BREAK TANK FOR HYDRANT SUPPLY 1m CLEARANCE REQUIRED
2700mm (L) X 3500mm (W) X 3700mm (H)
(SUBJECT TO FINAL PRESSURE AND FLOW INFORMATION)

SPRINKLER FULL STORAGE TANK
78KL STORAGE TANK FOR SPRINKLER SUPPLY
5700mm (L) X 5300mm (W) X 3700mm (H)
(SUBJECT TO FINAL PRESSURE AND FLOW INFORMATION)

MAIN FIRE PANEL
2300mm X 600mm TBC WITH TAS FIRE. MAY BE REQUIRED AT SERVICE ENTRY

HYDRAULIC CUPBOARD
1.5m x 1m.
IDEALLY TO BE IN CENTRALISED LOCATION

BIN STORE TO BE MECHANICALLY VENTILATED VIA ROOF COWL IF NOT ABLE TO BE NATURALLY VENTILATED.

2x 1.5MVA INDOOR SUBSTATIONS TO TAS NETWORKS REQUIREMENTS
9.8m X 8.2M each

SUBSTATION VENTILATION TO AUTHORITY REQUIREMENTS

EAST CHW/HHW PIPEWORK RISER TO ROOFTOP PLANT FROM GROUND LEVEL HEAT REJECTION PLANT. 1500x450

EAST OUTSIDE AIR RISER FROM ROOFTOP INTAKE TO GROUND LEVEL. 0.5SQM CLEAR INTERNAL RISER TO ABOVE (PENDING FINAL OCCUPANCY CONFIRMATION). RISER ADJACENT LIFTS/STAIRS AND OPENING ON TO COMMON AREA

MSB ROOM
SIZE TBC PENDING FURTHER DD AND ART PROCESSES DESIGN INPUT
2 PATHS OF EGRESS. 2HR FIRE RATED

APPROX 180SQM PLANT AREA FOR CHILLED/HEATING HOT WATER HEAT PUMP PLANT AREA. APPROX 3M HEIGHT FOR CHILLERS. COORDINATION WITH ACOUSTIC LOUVER REQUIREMENTS ONGOING.

PERSONNEL CLEAR PATH

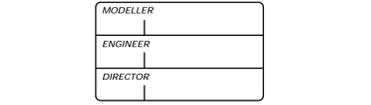
TOILET AREA: EXHAUST AIR RISER TO ROOFTOP DISCHARGE. ALLOW 0.25SQM RISER TO ROOF ABOVE

SANITARY DRAINAGE AND STORMWATER DESIGN AND COORDINATION TO BE COMPLETED UPON CONFIRMATION OF DETAILED LAYOUT OF FIXTURES (TYPICAL FOR ALL LEVELS)

GF TROPICAL HOUSE - SPECIFIC HUMIDITY AND TEMPERATURE REQUIREMENTS TO BE CONFIRMED IF CACAO PLANTS ETC ARE TO BE GROWN HERE

REV	DATE	DESCRIPTION	DRW	APP
F	19/09/25	PRELIMINARY SERVICES SKETCH	VT	BBV
E	17/09/25	PRELIMINARY SERVICES SKETCH	MKK	GWH
D	18/07/25	PRELIMINARY SERVICES SKETCH	SK	GWH
C	14/04/25	PRELIMINARY SERVICES SKETCH	DA	GWH
B	10/06/25	PRELIMINARY SERVICES SKETCH	DA	GWH
A	16/04/25	PRELIMINARY SERVICES SKETCH	DA	GWH

DRAWING ISSUE HISTORY



THIS DRAWING IS UNAUTHORISED FOR USE UNLESS SIGNED BY ALL OF THE ABOVE PARTIES FROM COLLECTIVE ENGINEERING.

REPRODUCTION NOTE: THIS DRAWING HAS BEEN CREATED USING COLOURED ELEMENTS. ALL DRAWINGS FROM COLLECTIVE ENGINEERING MUST BE VIEWED AND PRINTED IN COLOUR. ANYONE WHO DOES NOT FOLLOW THESE INSTRUCTIONS DOES SO AT THEIR OWN RISK

CONTRACT NOTES

CHOCOLATE EXPERIENCE No.2 CLIENT
CUMULUS ARCHITECT

GROUND FLOOR PROPOSED LAYOUT

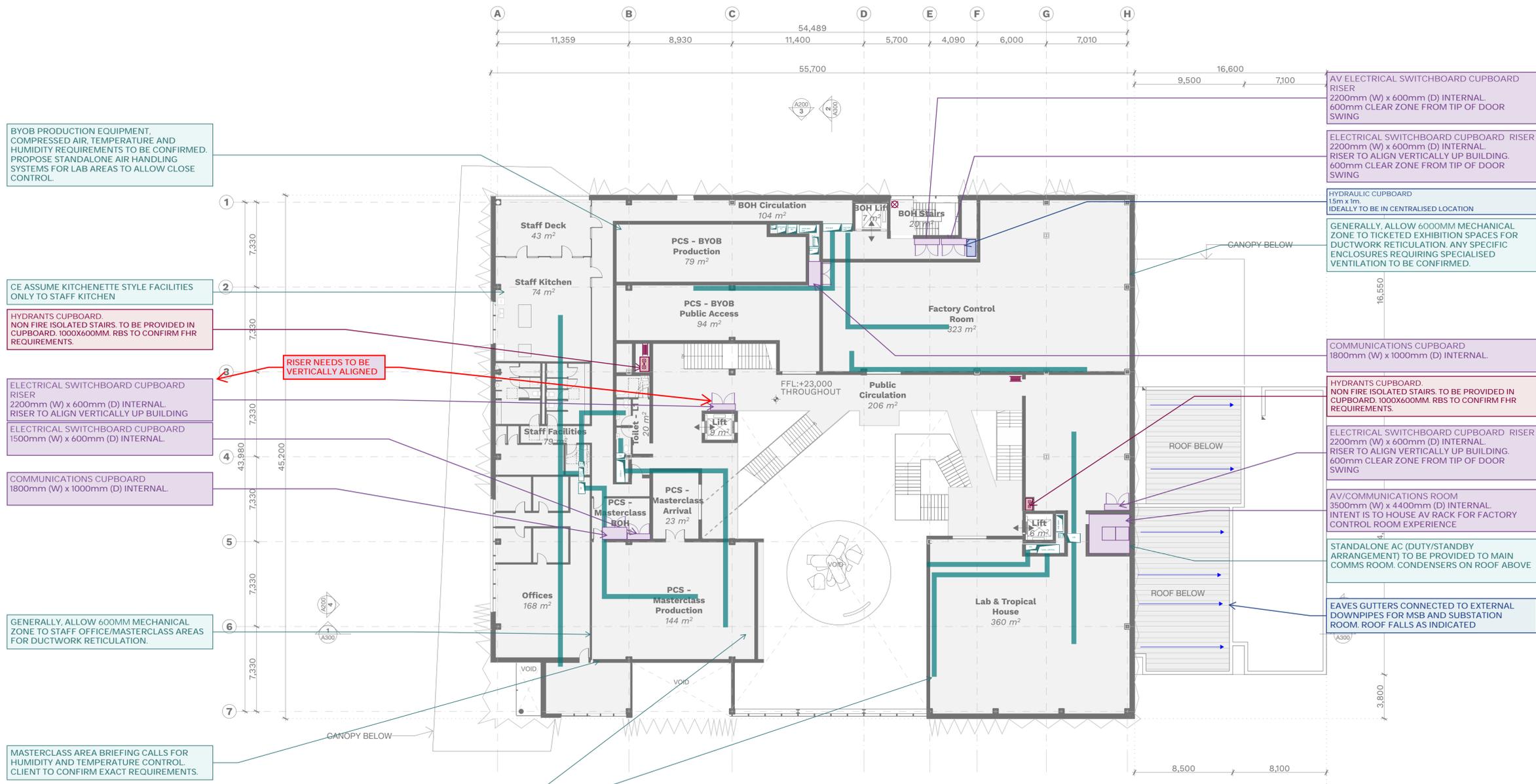
DRAWING TITLE
CHOCOLATE EXPERIENCE AT CADBURY CLAREMONT TASMANIA, 7011

PROJECT
MULTI-DISCIPLINE SERVICES
PRELIMINARY ISSUE
NOT FOR CONSTRUCTION

1:200 SCALE @A1 | 23297 PROJECT NUMBER | MD-SK-001 DRAWING NUMBER | F REV

GENERALLY, THE FEASIBILITY OF PROPOSED OCCUPANCY SHALL BE REVIEWED HOLISTICALLY ACROSS THE DEVELOPMENT. INITIAL BRIEFING DOCUMENTATION COMBINED WITH CODE REQUIREMENTS INDICATE 1500-1700 OCCUPANTS WITHIN THE BUILDING - CLIENT TO CONFIRM FEASIBLE AND ACCEPTABLE.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No **PLN-25-307**
16 October 2025
DATE RECEIVED



BYOB PRODUCTION EQUIPMENT, COMPRESSED AIR, TEMPERATURE AND HUMIDITY REQUIREMENTS TO BE CONFIRMED. PROPOSE STANDALONE AIR HANDLING SYSTEMS FOR LAB AREAS TO ALLOW CLOSE CONTROL.

CE ASSUME KITCHENETTE STYLE FACILITIES ONLY TO STAFF KITCHEN

HYDRANTS CUPBOARD. NON FIRE ISOLATED STAIRS. TO BE PROVIDED IN CUPBOARD. 1000X600MM. RBS TO CONFIRM FHR REQUIREMENTS.

ELECTRICAL SWITCHBOARD CUPBOARD RISER 2200mm (W) x 600mm (D) INTERNAL. RISER TO ALIGN VERTICALLY UP BUILDING

ELECTRICAL SWITCHBOARD CUPBOARD 1500mm (W) x 600mm (D) INTERNAL.

COMMUNICATIONS CUPBOARD 1800mm (W) x 1000mm (D) INTERNAL.

GENERALLY, ALLOW 600MM MECHANICAL ZONE TO STAFF OFFICE/MASTERCLASS AREAS FOR DUCTWORK RETICULATION.

MASTERCLASS AREA BRIEFING CALLS FOR HUMIDITY AND TEMPERATURE CONTROL. CLIENT TO CONFIRM EXACT REQUIREMENTS.

MAIN ATRIUM TO BE CONDITIONED VIA SIDE-WALL JET DIFFUSERS OR EQUIVALENT AT EACH LEVEL. SMOKE EXHAUST FROM HIGH LEVEL REQUIRED (PENDING FIRE ENGINEERING). MAKE-UP AIR VIA FACADE AT LOW LEVEL PROPOSED.

AV ELECTRICAL SWITCHBOARD CUPBOARD RISER 2200mm (W) x 600mm (D) INTERNAL. 600mm CLEAR ZONE FROM TIP OF DOOR SWING

ELECTRICAL SWITCHBOARD CUPBOARD RISER 2200mm (W) x 600mm (D) INTERNAL. RISER TO ALIGN VERTICALLY UP BUILDING. 600mm CLEAR ZONE FROM TIP OF DOOR SWING

HYDRAULIC CUPBOARD 15m x 1m. IDEALLY TO BE IN CENTRALISED LOCATION

GENERALLY, ALLOW 600MM MECHANICAL ZONE TO TICKETED EXHIBITION SPACES FOR DUCTWORK RETICULATION. ANY SPECIFIC ENCLOSURES REQUIRING SPECIALISED VENTILATION TO BE CONFIRMED.

COMMUNICATIONS CUPBOARD 1800mm (W) x 1000mm (D) INTERNAL.

HYDRANTS CUPBOARD. NON FIRE ISOLATED STAIRS. TO BE PROVIDED IN CUPBOARD. 1000X600MM. RBS TO CONFIRM FHR REQUIREMENTS.

ELECTRICAL SWITCHBOARD CUPBOARD RISER 2200mm (W) x 600mm (D) INTERNAL. RISER TO ALIGN VERTICALLY UP BUILDING. 600mm CLEAR ZONE FROM TIP OF DOOR SWING

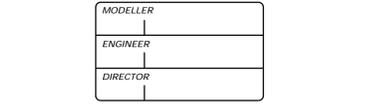
AV/COMMUNICATIONS ROOM 3500mm (W) x 4400mm (D) INTERNAL. INTENT IS TO HOUSE AV RACK FOR FACTORY CONTROL ROOM EXPERIENCE

STANDALONE AC (DUTY/STANDBY ARRANGEMENT) TO BE PROVIDED TO MAIN COMMS ROOM. CONDENSERS ON ROOF ABOVE

EAVES GUTTERS CONNECTED TO EXTERNAL DOWNPIPES FOR MSB AND SUBSTATION ROOM. ROOF FALLS AS INDICATED

REV	DATE	DESCRIPTION	DRW	APP
F	19/09/25	PRELIMINARY SERVICES SKETCH	VT	BBV
E	17/09/25	PRELIMINARY SERVICES SKETCH	MKK	GWH
D	18/07/25	PRELIMINARY SERVICES SKETCH	SK	GWH
C	14/04/25	PRELIMINARY SERVICES SKETCH	DA	GWH
B	10/06/25	PRELIMINARY SERVICES SKETCH	DA	GWH
A	16/04/25	PRELIMINARY SERVICES SKETCH	DA	GWH

DRAWING ISSUE HISTORY



THIS DRAWING IS UNAUTHORISED FOR USE UNLESS SIGNED BY ALL OF THE ABOVE PARTIES FROM COLLECTIVE ENGINEERING.

DRAWING AUTHORISATION

REPRODUCTION NOTE: THIS DRAWING HAS BEEN CREATED USING COLOURED ELEMENTS. ALL DRAWINGS FROM COLLECTIVE ENGINEERING MUST BE VIEWED AND PRINTED IN COLOUR. ANYONE WHO DOES NOT FOLLOW THESE INSTRUCTIONS DOES SO AT THEIR OWN RISK

CONTRACT NOTES

CHOCOLATE EXPERIENCE No.2 CLIENT
CUMULUS ARCHITECT

LEVEL 1 PROPOSED LAYOUT

DRAWING TITLE

CHOCOLATE EXPERIENCE AT CADBURY CLAREMONT TASMANIA, 7011

PROJECT

MULTI-DISCIPLINE SERVICES PRELIMINARY ISSUE NOT FOR CONSTRUCTION

1:200	23297	MD-SK-001	F
-------	-------	-----------	---

SCALE @A1 PROJECT NUMBER DRAWING NUMBER REV

GENERALLY, THE FEASIBILITY OF PROPOSED OCCUPANCY SHALL BE REVIEWED HOLISTICALLY ACROSS THE DEVELOPMENT. INITIAL BRIEFING DOCUMENTATION COMBINED WITH CODE REQUIREMENTS INDICATE 1500-1700 OCCUPANTS WITHIN THE BUILDING - CLIENT TO CONFIRM FEASIBLE AND ACCEPTABLE.

MAIN COMMUNICATIONS ROOM
 SIZE TBC PENDING FURTHER DD AND ART PROCESSES
 DESIGN INPUT
 2HR FIRE RATED
 5.2m X 6m INTERNAL

PBS EQUIPMENT, COMPRESSED AIR, TEMPERATURE AND HUMIDITY REQUIREMENTS TO BE CONFIRMED. PROPOSE STANDALONE AIR HANDLING SYSTEMS FOR LAB AREAS TO ALLOW CLOSE CONTROL.

ELECTRICAL SWITCHBOARD CUPBOARD RISER
 2200mm (W) x 600mm (D) INTERNAL
 RISER TO ALIGN VERTICALLY UP BUILDING

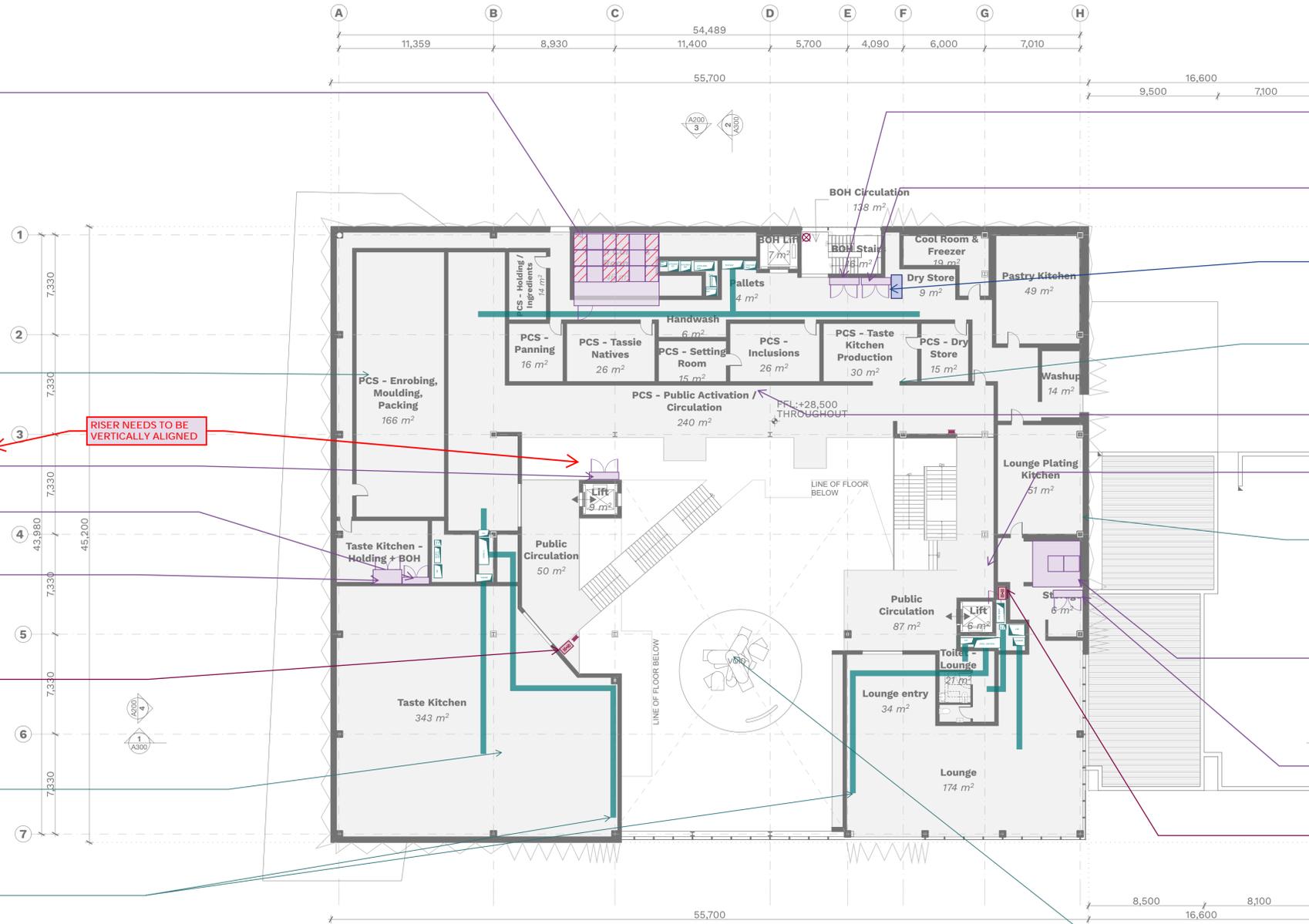
ELECTRICAL SWITCHBOARD CUPBOARD
 1500mm (W) x 600mm (D) INTERNAL.

COMMUNICATIONS CUPBOARD
 1800mm (W) x 1000mm (D) INTERNAL.

HYDRANTS CUPBOARD
 NON FIRE ISOLATED STAIRS. TO BE PROVIDED IN CUPBOARD.
 1000X600MM. RBS TO CONFIRM FHR REQUIREMENTS.

GENERALLY, ALLOW 600MM MECHANICAL ZONE TO TICKETED AREAS FOR DUCTWORK RETICULATION.

MAIN ATRIUM TO BE CONDITIONED VIA SIDE-WALL JET DIFFUSERS OR EQUIVALENT AT EACH LEVEL. SMOKE EXHAUST FROM HIGH LEVEL REQUIRED (PENDING FIRE ENGINEERING). MAKE-UP AIR VIA FACADE AT LOW LEVEL PROPOSED.



AV ELECTRICAL SWITCHBOARD CUPBOARD RISER
 2200mm (W) x 600mm (D) INTERNAL.
 600mm CLEAR ZONE FROM TIP OF DOOR SWING

ELECTRICAL SWITCHBOARD CUPBOARD RISER
 2200mm (W) x 600mm (D) INTERNAL.
 RISER TO ALIGN VERTICALLY UP BUILDING.
 600mm CLEAR ZONE FROM TIP OF DOOR SWING

HYDRAULIC CUPBOARD
 15m x 1m.
 IDEALLY TO BE IN CENTRALISED LOCATION

GENERALLY, ALLOW 600MM MECHANICAL ZONE TO TICKETED EXHIBITION SPACES FOR DUCTWORK RETICULATION. ANY SPECIFIC ENCLOSURES REQUIRING SPECIALISED VENTILATION TO BE CONFIRMED.

COMMUNICATIONS CUPBOARD RISER
 1200mm (W) x 1000mm (D) INTERNAL.
 RISER TO ALIGN VERTICALLY UP BUILDING

ELECTRICAL SWITCHBOARD CUPBOARD RISER
 2200mm (W) x 600mm (D) INTERNAL.
 RISER TO ALIGN VERTICALLY UP BUILDING.
 600mm CLEAR ZONE FROM TIP OF DOOR SWING

ANY COMMERCIAL COOKING/ DISHWASHING REQUIREMENTS FOR LOUNGE TO BE CONFIRMED. PROPOSE ANY REQUIRED VENTILATION DIRECT TO ROOF ABOVE.

AV/COMMUNICATIONS ROOM
 3500mm (W) x 4400mm (D) INTERNAL.
 INTENT IS TO HOUSE AV RACK FOR FACTORY CONTROL ROOM EXPERIENCE

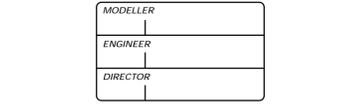
ELECTRICAL SWITCHBOARD CUPBOARD RISER
 2200mm (W) x 600mm (D) INTERNAL.
 RISER TO ALIGN VERTICALLY UP BUILDING.
 600mm CLEAR ZONE FROM TIP OF DOOR SWING

HYDRANTS CUPBOARD.
 NON FIRE ISOLATED STAIRS. TO BE PROVIDED IN CUPBOARD. 1000X600MM. RBS TO CONFIRM FHR REQUIREMENTS.

LARGE SMOKE EXHAUST GRILLES REQUIRED AT TOP OF ATRIUM TO ROOFTOP EXHAUSTS. FINAL VOLUMES TBC PENDING FIRE ENGINEERING, BUT A STRATEGY FOR CONCEALMENT MAY BE WORTH DISCUSSING.

REV	DATE	DESCRIPTION	DRW	APP
F	19/09/25	PRELIMINARY SERVICES SKETCH	VT	BBV
E	17/09/25	PRELIMINARY SERVICES SKETCH	MKK	GWH
D	18/07/25	PRELIMINARY SERVICES SKETCH	SK	GWH
C	14/04/25	PRELIMINARY SERVICES SKETCH	DA	GWH
B	10/06/25	PRELIMINARY SERVICES SKETCH	DA	GWH
A	16/04/25	PRELIMINARY SERVICES SKETCH	GWH	GWH

DRAWING ISSUE HISTORY



DRAWING AUTHORISATION

REPRODUCTION NOTE: THIS DRAWING HAS BEEN CREATED USING COLOURED ELEMENTS. ALL DRAWINGS FROM COLLECTIVE ENGINEERING MUST BE VIEWED AND PRINTED IN COLOUR. ANYONE WHO DOES NOT FOLLOW THESE INSTRUCTIONS DOES SO AT THEIR OWN RISK

CONTRACT NOTES

CHOCOLATE EXPERIENCE No.2 CLIENT

CUMULUS ARCHITECT

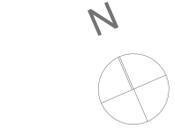
LEVEL 2 PROPOSED LAYOUT

DRAWING TITLE
 CHOCOLATE EXPERIENCE AT CADBURY CLAREMONT TASMANIA, 7011

PROJECT
 MULTI-DISCIPLINE SERVICES
 PRELIMINARY ISSUE
 NOT FOR CONSTRUCTION

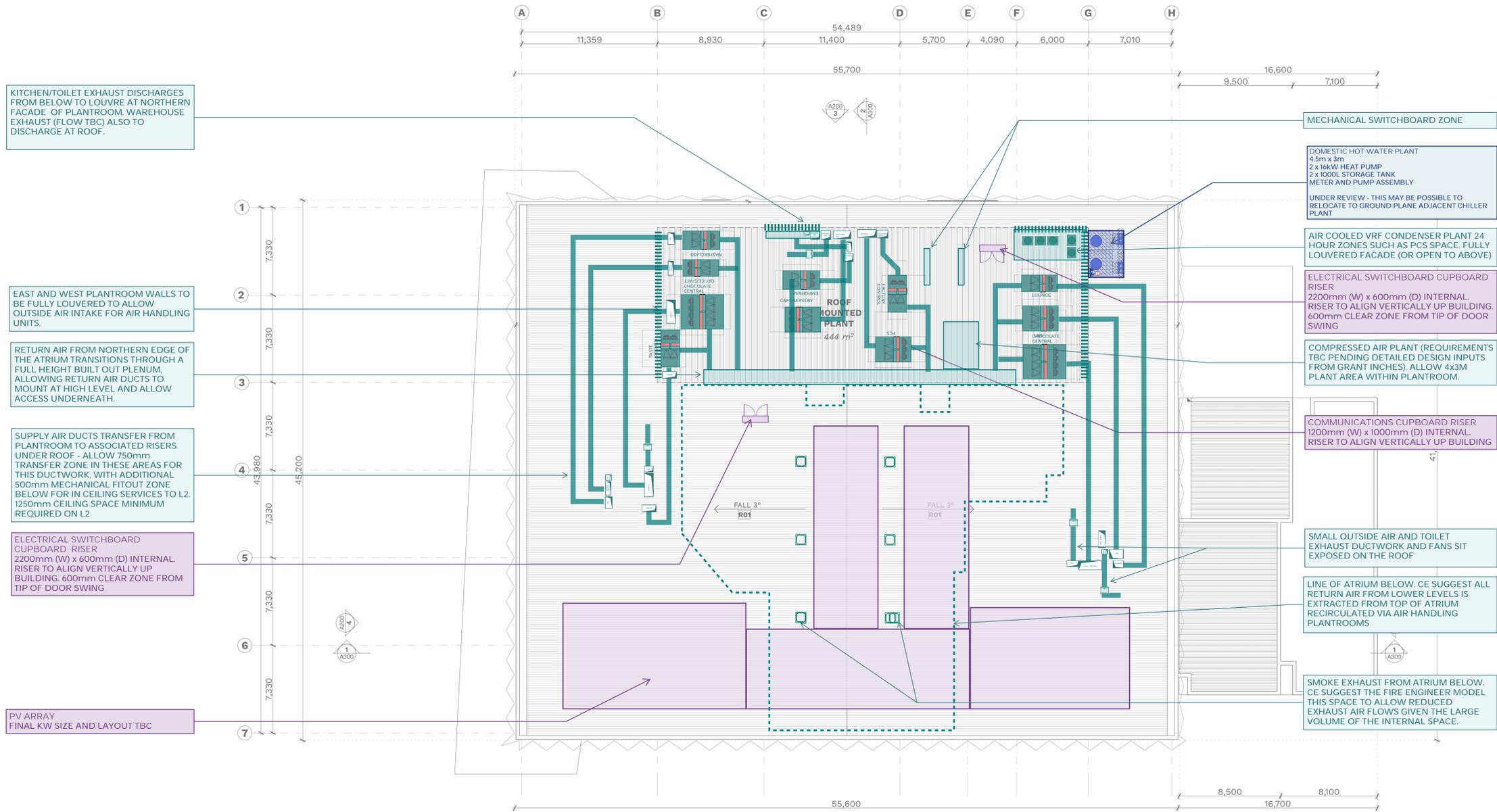
1:200	23297	MD-SK-001	F
-------	-------	-----------	---

SCALE @A1 PROJECT NUMBER DRAWING NUMBER REV



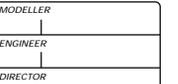
GENERALLY, THE FEASIBILITY OF PROPOSED OCCUPANCY SHALL BE REVIEWED HOLISTICALLY ACROSS THE DEVELOPMENT. INITIAL BRIEFING DOCUMENTATION COMBINED WITH CODE REQUIREMENTS INDICATE 1500-1700 OCCUPANTS WITHIN THE BUILDING - CLIENT TO CONFIRM FEASIBLE AND ACCEPTABLE.

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. PLN-25-307
DATE RECEIVED 16 October 2025



REV	DATE	DESCRIPTION	DRW	APP
F	19/09/25	PRELIMINARY SERVICES SKETCH	VT	BBV
E	17/09/25	PRELIMINARY SERVICES SKETCH	MKK	GWH
D	18/07/25	PRELIMINARY SERVICES SKETCH	SK	GWH
C	14/04/25	PRELIMINARY SERVICES SKETCH	DA	GWH
B	10/06/25	PRELIMINARY SERVICES SKETCH	DA	GWH
A	16/04/25	PRELIMINARY SERVICES SKETCH	GWH	GWH

DRAWING ISSUE HISTORY



THIS DRAWING IS UNAUTHORIZED FOR USE UNLESS SIGNED BY ALL OF THE ABOVE PARTIES FROM COLLECTIVE ENGINEERING

DRAWING AUTHORISATION

REPRODUCTION NOTE: THIS DRAWING HAS BEEN CREATED USING COLOURED ELEMENTS. ALL DRAWINGS FROM COLLECTIVE ENGINEERING MUST BE VIEWED AND PRINTED IN COLOUR. ANYONE WHO DOES NOT FOLLOW THESE INSTRUCTIONS DOES SO AT THEIR OWN RISK

CONTRACT NOTES

CHOCOLATE EXPERIENCE No.2 CLIENT
CUMULUS ARCHITECT

ROOF LEVEL PROPOSED LAYOUT

DRAWING TITLE
CHOCOLATE EXPERIENCE AT CADBURY CLAREMONT TASMANIA, 7011

PROJECT
MULTI-DISCIPLINE SERVICES PRELIMINARY ISSUE NOT FOR CONSTRUCTION

1:200	23297	MD-SK-001	F
-------	-------	-----------	---

SCALE @A1 PROJECT NUMBER DRAWING NUMBER REV



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. PLN-25-307
DATE RECEIVED 16 October 2025



Cadbury Experience Project 100 Cadbury Road, Claremont

Civil Engineering Town Planning Drawings

MCG
CONSULT

Job Number: 23207
July 2025

MCG Consult Pty Ltd
 Level 8, 263 William St
 Melbourne VIC 3000
 admin@mcgconsult.com.au

Copyright. The Copyrights to all designs and drawings are the property of MCG Consult. Reproduction or use for any purpose other than that authorised by MCG Consult is forbidden. The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to MCG Consult without delay.

Colour Disclaimer. This drawing has been documented in colour. This drawing is required to be printed in colour. Failure to do so may result in loss of information. Black and white printing may be used if specific black and white documents have been obtained from MCG Consult.

LEGEND

- TITLE BOUNDARY
- 12.0 EXISTING CONTOURS
- ⊗ EXISTING TREE

**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**

APPLICATION No PLN-25-307

DATE RECEIVED 16 October 2025

- EXISTING SERVICES**
- - - D - EXISTING DRAINAGE
 - - - HV(d) - EXISTING ELECTRICAL
 - - - S - EXISTING SEWER
 - - - T - EXISTING TELECOMMUNICATIONS

Client
 -

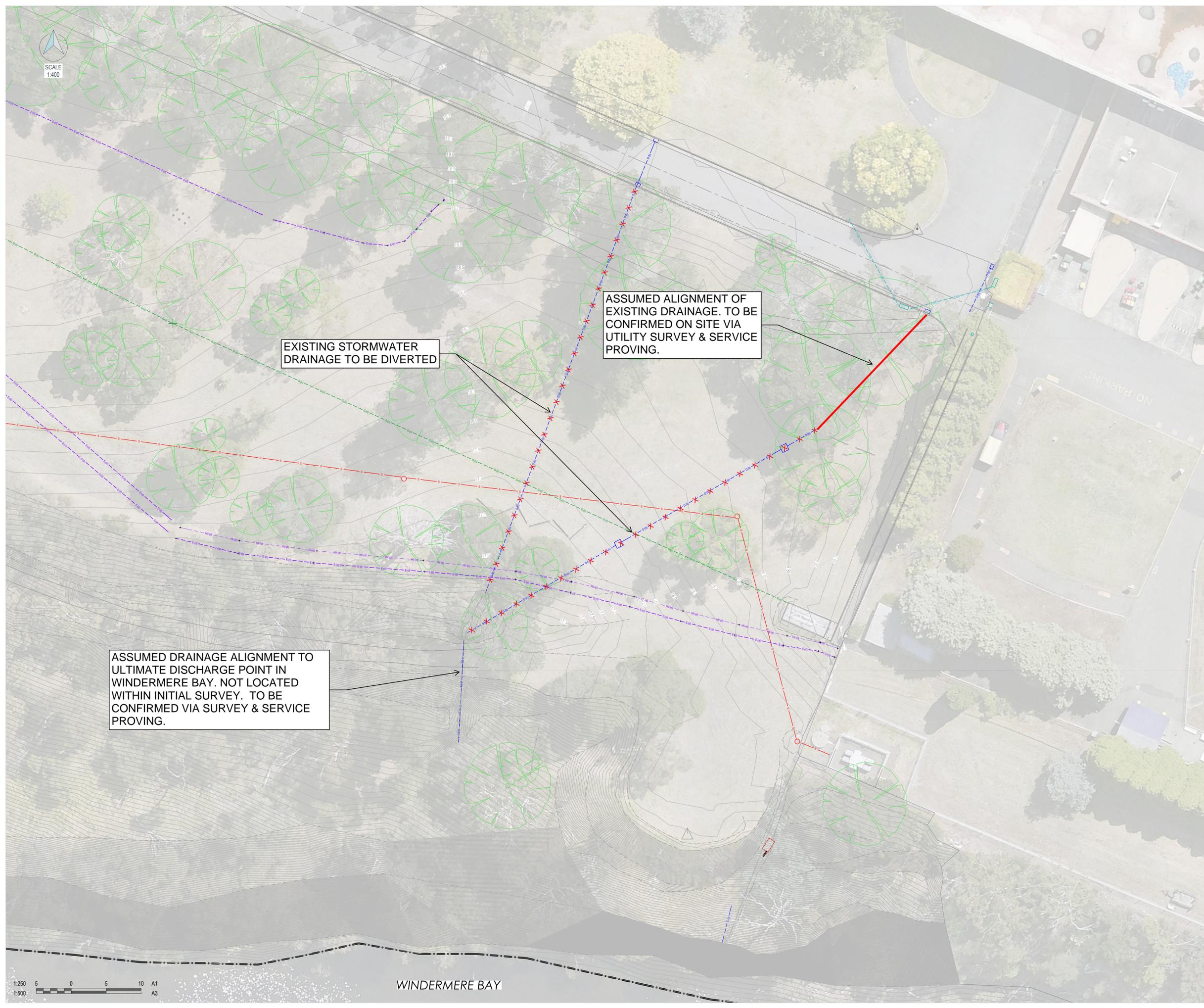
Project Name
23207 Cadbury Experience Project

Project Location
**100 Cadbury Road
 Claremont, TAS 7011**

SCHEMATIC DESIGN
 NOT FOR CONSTRUCTION

PRELIMINARY ISSUE	CR	CR	01/08/2025
Revision	By	Appd	Date

Drawing Title
EXISTING CONDITIONS PLAN



EXISTING STORMWATER DRAINAGE TO BE DIVERTED

ASSUMED ALIGNMENT OF EXISTING DRAINAGE. TO BE CONFIRMED ON SITE VIA UTILITY SURVEY & SERVICE PROVING.

ASSUMED DRAINAGE ALIGNMENT TO ULTIMATE DISCHARGE POINT IN WINDERMERE BAY. NOT LOCATED WITHIN INITIAL SURVEY. TO BE CONFIRMED VIA SURVEY & SERVICE PROVING.

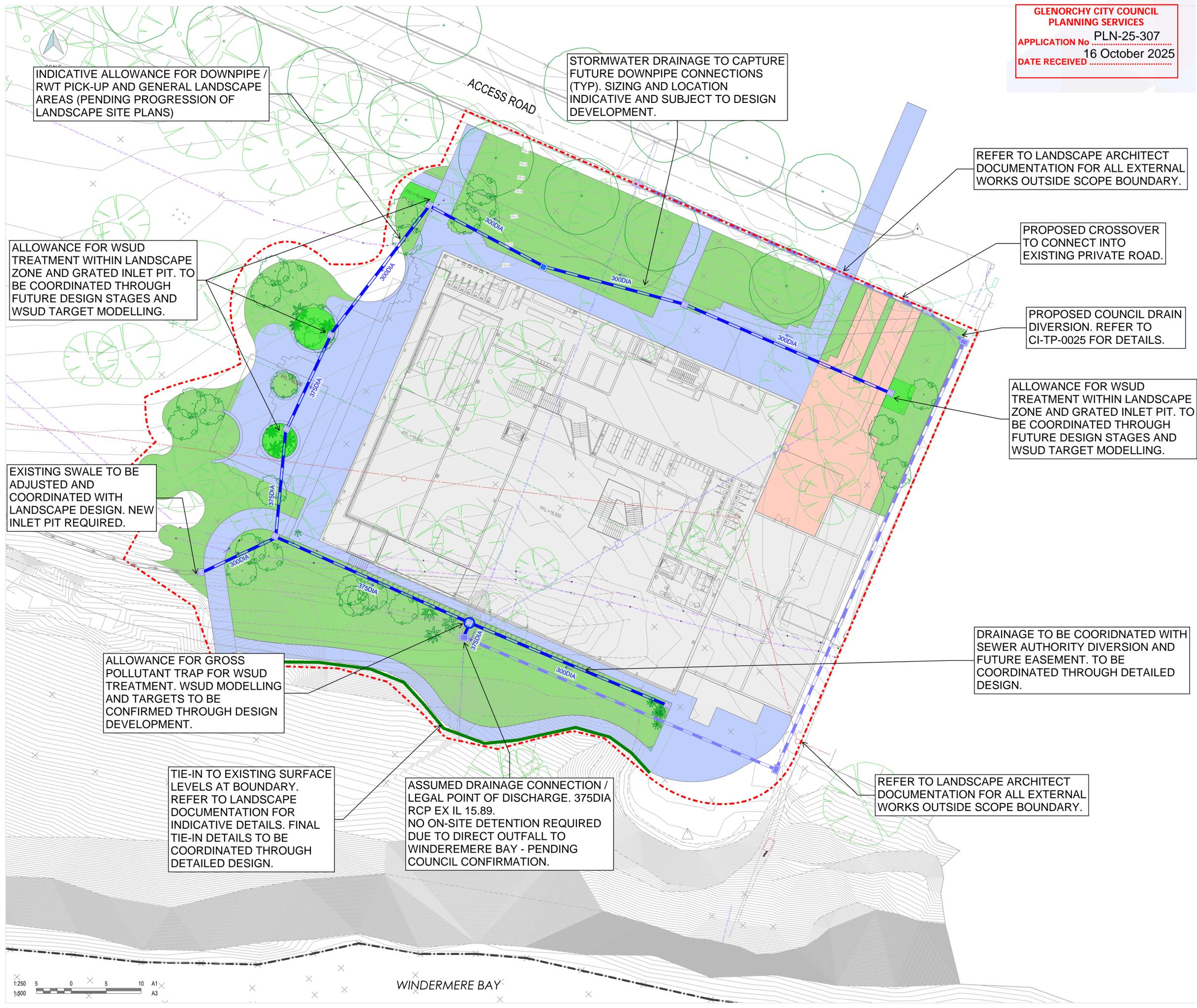
1:250 5 0 5 10 A1
 1:500

WINDERMERE BAY

MCG Consult Pty Ltd
Level 8, 263 William St
Melbourne VIC 3000
admin@mcgconsult.com.au

Copyright. The Copyrights to all designs and drawings are the property of MCG Consult. Reproduction or use for any purpose other than that authorised by MCG Consult is forbidden. The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to MCG Consult without delay.

Colour Disclaimer. This drawing has been documented in colour. This drawing is required to be printed in colour. Failure to do so may result in loss of information. Black and white printing may be used if specific black and white documents have been obtained from MCG Consult.



LEGEND

- TITLE BOUNDARY
- EXISTING CONTOURS
- EXISTING TREE - REFER ARCHITECTURAL & ARBORIST DOCUMENTATION
- PROPOSED TREE
- BUILDING
- HEAVY DUTY VEHICULAR PAVEMENT - TBC GEOTECHNICAL DESIGN
- FOOTPATH PAVEMENT
- LANDSCAPE AREA. REFER LANDSCAPE ARCHITECT'S DOCUMENTATION FOR DETAIL.
- RAINGARDEN AREA (INDICATIVE)

EXISTING SERVICES

- D - EXISTING DRAINAGE
- HV-(d) - EXISTING ELECTRICAL
- S - EXISTING SEWER
- T - EXISTING TELECOMMUNICATIONS

Client
-

Project Name
23207 Cadbury Experience Project

Project Location
**100 Cadbury Road
Claremont, TAS 7011**

SCHEMATIC DESIGN
NOT FOR CONSTRUCTION

REVISION	BY	DATE

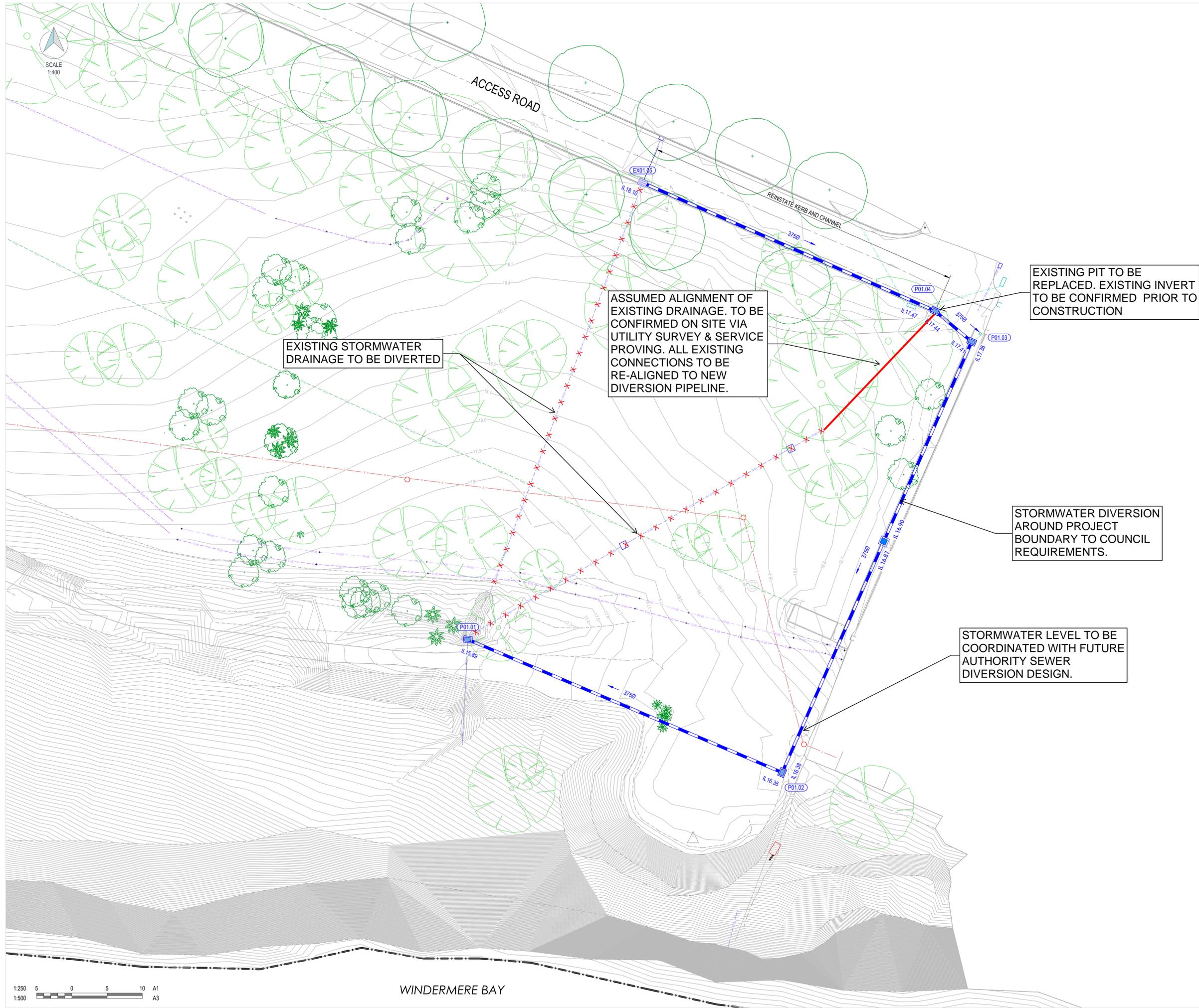
Drawing Title
CIVIL WORKS PLAN

LEGEND

- TITLE BOUNDARY
- - - EXISTING CONTOURS
- (Green Circle) EXISTING TREE
- 3750 PROPOSED STORMWATER PIT AND DRAIN
- (P01.01) PIT REFERENCE

- EXISTING SERVICES**
- - - D EXISTING STORMWATER DRAINAGE
 - - - W EXISTING WATER MAIN
 - - - S EXISTING SEWER MAIN
 - - - E EXISTING ELECTRICAL CABLE / CONDUIT
 - - - G EXISTING GAS MAIN
 - - - T EXISTING TELECOMMUNICATIONS

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No **PLN-25-307**
DATE RECEIVED **16 October 2025**



SCALE
1:400

1:250 5 0 5 10 A1
1:500 A3

Client
Project Name
23207 Cadbury Experience Project
Project Location
**100 Cadbury Road
Claremont, TAS 7011**

SCHEMATIC DESIGN
NOT FOR CONSTRUCTION

Revision	By	Appd	Date

Drawing Title
COUNCIL STORMWATER DIVERSION PLAN

LEGEND

- LANDSCAPING OPPORTUNITY
- RAISED KERB
- FENCE
- LINE MARKING
- MOTORBIKE PARKING
- APPROXIMATE STORMWATER PIT AND DRAIN

WOMBAT CROSSING SIGNS TO BE PROVIDED IN ACCORDANCE WITH AS1742.10:2024, INCLUDING ADVANCE WARNING SIGNAGE.

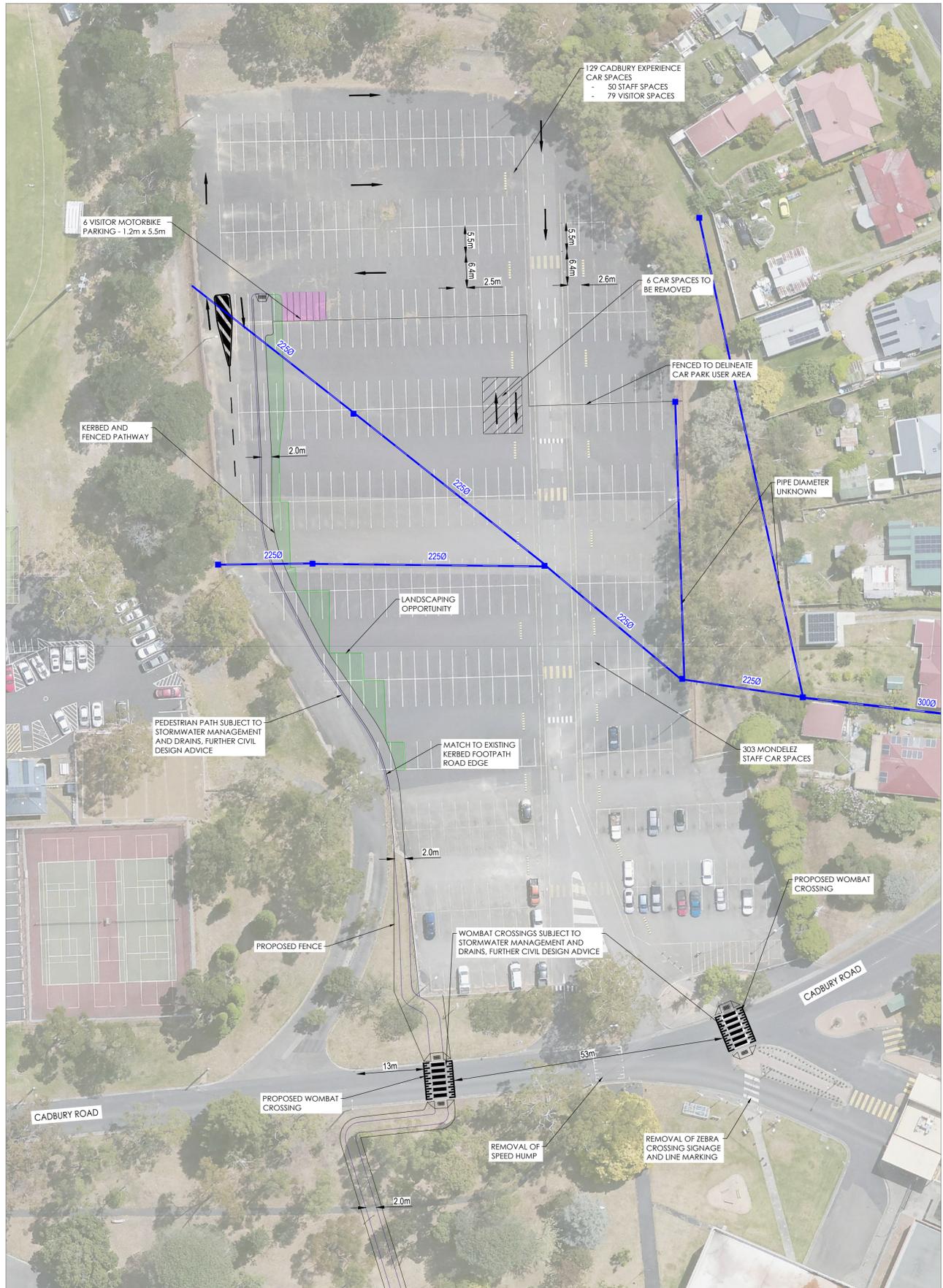
SCALE
1:500

SCALE
1:100

MOTORBIKE PARKING
1:100

1:100 1 0 1 2 3 4 5 A1

1:200 1 0 1 2 3 4 5 A3



SCALE
1:500

LAYOUT
1:500

1:500 10 5 0 10 20 A1

1:1000 1 0 1 2 3 4 5 A3

Client
Chocolate Experience (No.2) Pty Ltd

Project Name
23207 Cadbury Experience Project

Project Location
**100 Cadbury Road
Claremont, TAS 7011**

PRELIMINARY
NOT FOR CONSTRUCTION

Revision	By	Appd	Date
M	CONCEPT PLAN	MC	NM 19.02.2026
L	CONCEPT PLAN	MC	NM 16.02.2026
K	CONCEPT PLAN	MC	NM 20.01.2026
J	CONCEPT PLAN	MC	NM 14.01.2026

Drawing Title
CONCEPT LAYOUT OF VISITOR CAR PARK AND WOMBAT CROSSINGS