

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-021
PROPOSED DEVELOPMENT:	Three multiple dwellings (one existing and two new)
LOCATION:	29 Fourth Avenue West Moonah
APPLICANT:	Draftone Tasmania
ADVERTISING START DATE:	14/04/2026
ADVERTISING EXPIRY DATE:	28/04/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **28/04/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **28/04/2026**, or for postal and hand delivered representations, by 5.00 pm on **28/04/2026**.

Soil Test

By: GEO Environmental Solutions
Date:

BAL Assessment

Rate: Not required: not in bushfire prone area
By:
Date:

Land Survey

By: Lark & Creese
Date: 20 October 2025

Thermal Assessment

By: Paul Hutchens Energy Rating
Date:

Corrosion Environment

Class: NCC 2022: Table 6.3.9a and Specifications 3

Alpine Area

Class:

Climate Zone - 7

Soil Classification

Class: TBA

Wind Speed

N3 Vh,u = 50m/s

Land Title

Folio No: 18
Volume: 62470

Site Coverage

Land - 1,108.00m²

House - 104.08m²
Porch/Rear Cover - 18.35m²
Relocatable - 30.79m²
Garden Shed - 12.27m²
Garage - 45.18m²

TOTAL (for site coverage) - 210.67m²

Existing Site Coverage - **19.0135%**

House - 104.08m²
Porch/Rear Cover - 18.35m²
Unit 2 Level 1 - 96.88m²
Unit 2 Level 2 - 98.29m²
Unit 2 Deck - 12.00m²
Unit 3 Level 1 - 106.56m²
Unit 3 Level 2 - 94.32m²
Unit 3 Deck - 12.00m²

TOTAL (for site coverage)- 361.77m²

Site Coverage - 32.651%

General Residential Zone - Clause 8.4 - Development Standards for Dwellings of the Scheme

8.4.2 - Setbacks and building envelope for all dwellings

- A1 (a) House is more than 4.5m from the primary frontage.
A2 (a) Existing garage is more than 1m behind the building line.
A3 (a) Unit 2 is not contained inside the building envelope (see elevation drawings).
P3 (a) Will not cause an unreasonable loss of amenity to adjoining properties, having regard to:
(i) No reduction of sunlight to habitable rooms due to the alignment of the house at No24 (see site plan).
(ii) Shadow the private open space of No24 (see site plan).
(iii) Only shadows front yard and has minimal visual bulk as is only 6.2m wide facing the street.
(b) Property separation is consistent with what is in the area.
(c) Will not cause unreasonable reduction in sunlight to an existing solar energy installation.

8.4.3 - Site coverage and private open space for all dwellings

- A1 (a) Site coverage is less than 50% (see cover page).
A2 (a) Private open space is more than 24m².
(b) Minimum dimension of 4m.
(c) Gradient no steeper than 1 in 10.

8.4.4 - Privacy for Dwellings

Does not shadow dwellings on the same site more than 50%.

8.4.6 - Privacy for Dwellings

- A1/P1 Balconies issues are addressed with privacy screen and distances.
A2 Windows or glazed doors screening addressed (see elevation drawings and site plan for notes and screen diagrams)

GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No. : PLN-26-021

DATE RECEIVED: 24/03/2026



ABN: 18 220 805 074
Compliance No: CC 1159 Q
m: 0409 432 670
e: clint.draftone@bigpond.com

Client

Fenton Investment Trust

Job

New Residential Units

Job address

29 Fourth Avenue,
West Moonah

Drawing

Scale: A3
DWG: 1 of 38
Date: 24 March 2026
Job No: 2025-38

Cover

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Amendments

Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

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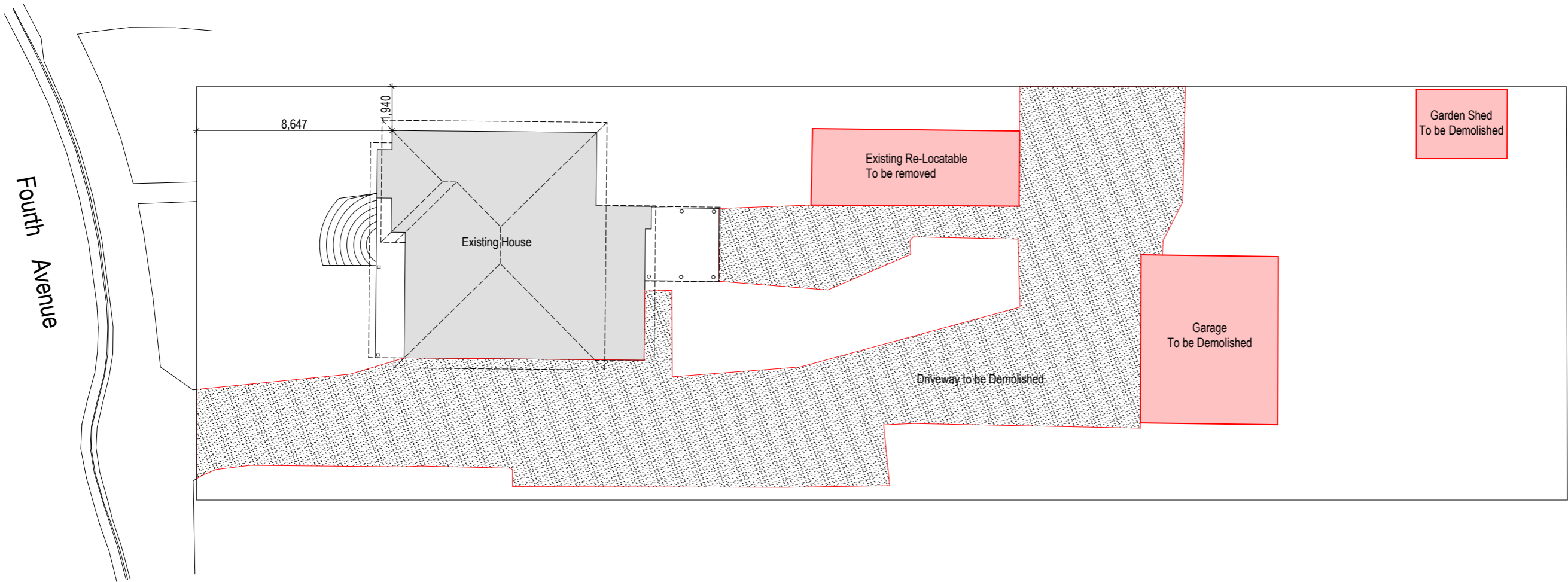
Client
 Fenton Investment Trust

Job
 New Residential Units

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 29 Fourth Avenue,
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Drawing
 Scale: A3 - 1:200
 DWG: 2 of 38
 Date: 24 March 2026
 Job No: 2025-38

Existing & Demolition Site



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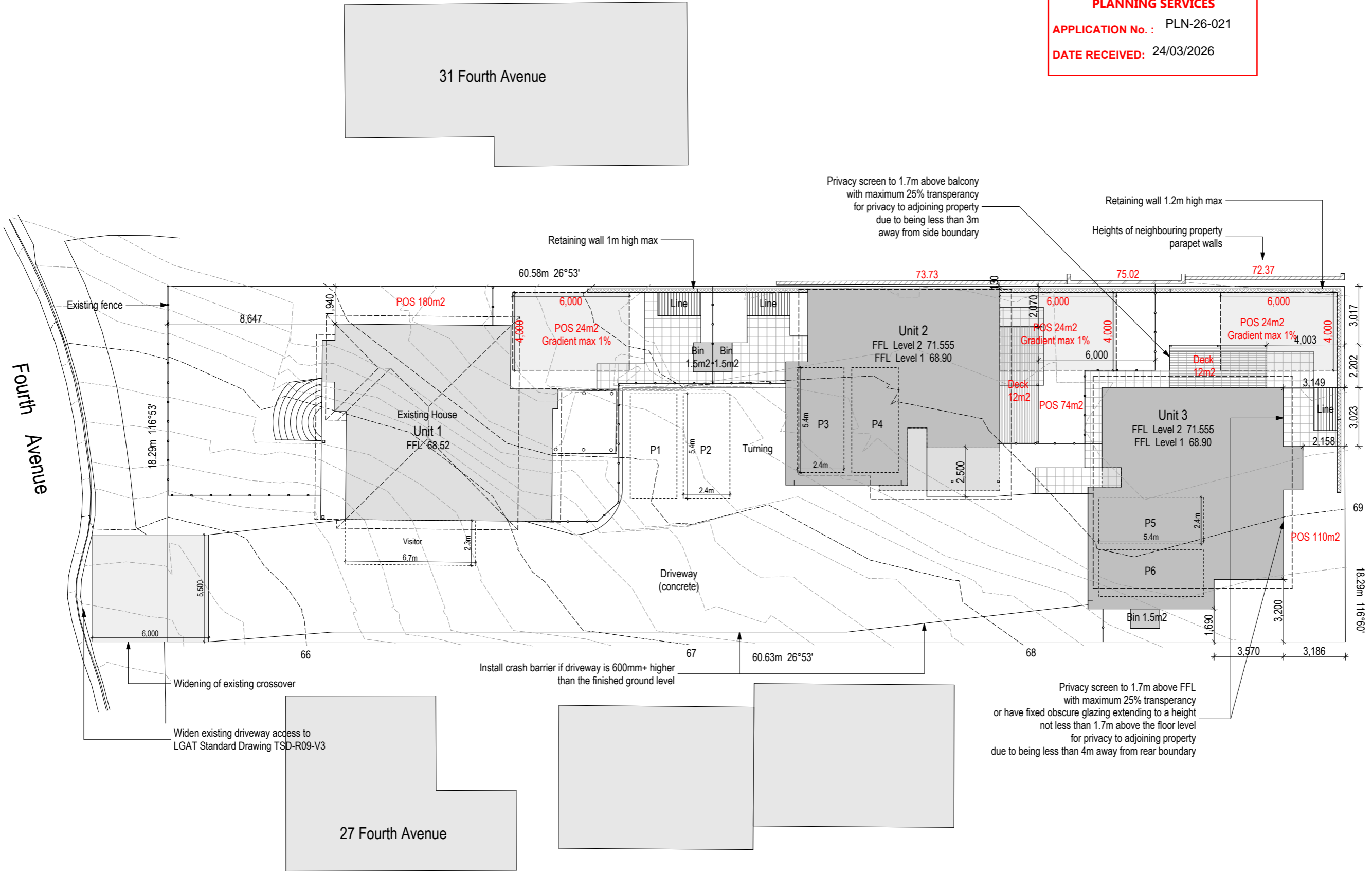
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Site Plan



Amendments	
Date	By
24-3-2026	CW

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Scale: A3 - 1:250
DWG: 4 of 38
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Driveway Angles



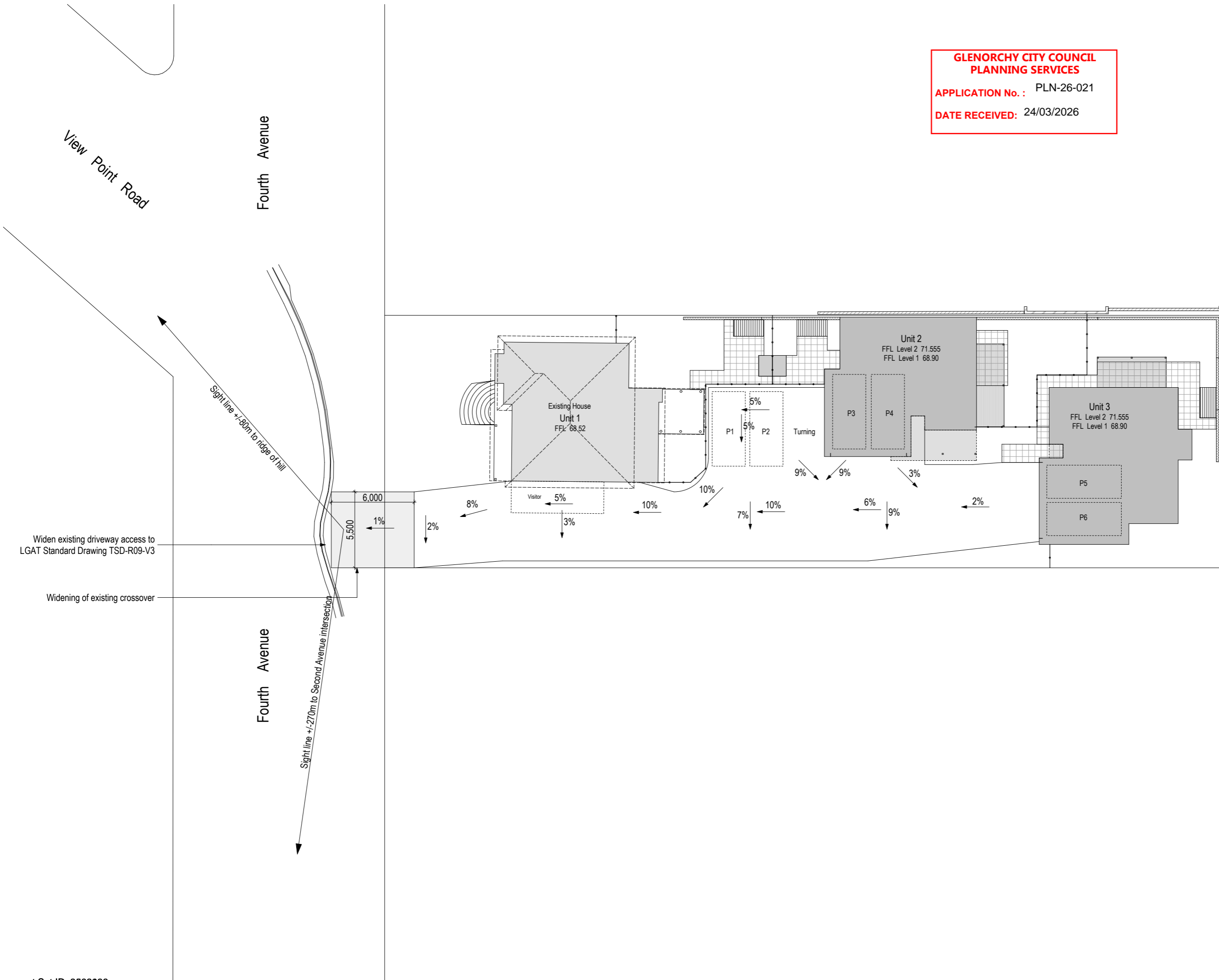
Plumbing
Final internal sizes & layout to be determined by the plumber to council approval. See specifications for other details.

- Downpipes
- Sewer Line
- - - Stormwater Line
- - - Agg Pipe
- ▨ 450x450 Pit

- 1 Toilet 100 dia
- 2 Bath 40 dia
- 3 Basin 40 dia
- 4 Trough 50 dia
- 5 Kit sink 50 dia
- 6 Shower 50 dia
- 7 Floor waste 50 dia

Amendments	
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Widen existing driveway access to LGAT Standard Drawing TSD-R09-V3

Widening of existing crossover

Fourth Avenue

Fourth Avenue

View Point Road

Sight line +/-80m to ridge of hill

Sight line +/-270m to Second Avenue intersection

Existing House
Unit 1
FFL 68.52

Unit 2
FFL Level 2 71.555
FFL Level 1 68.90

Unit 3
FFL Level 2 71.555
FFL Level 1 68.90

Visitor

Turning

P1

P2

P3

P4

P5

P6

6.000

5.500

1%

2%

8%

5%

3%

10%

10%

7%

10%

6%

9%

2%

5%

5%

9%

9%

3%

9%

9%

9%

9%

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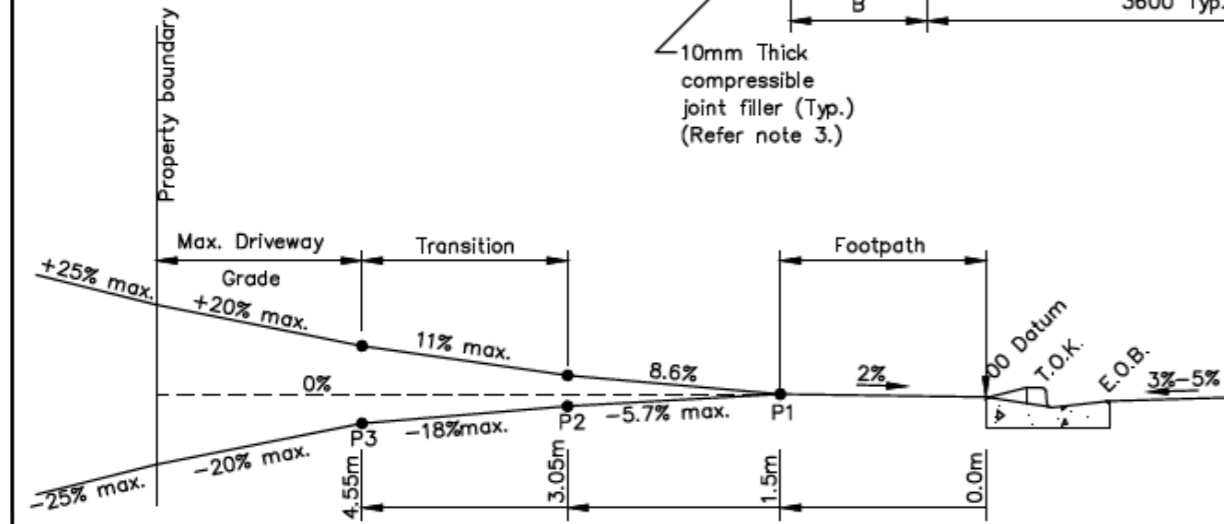
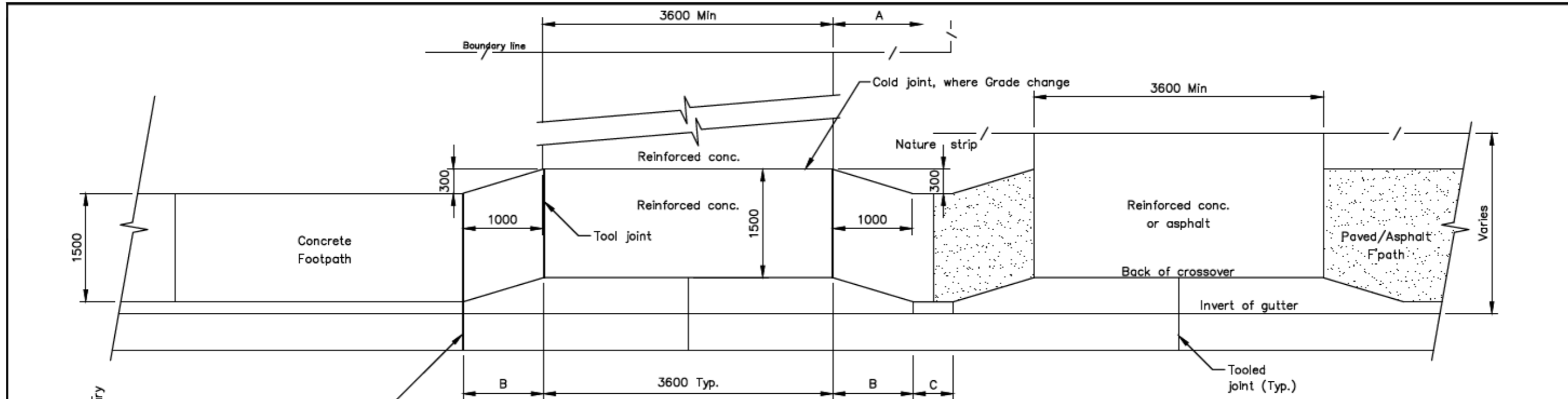
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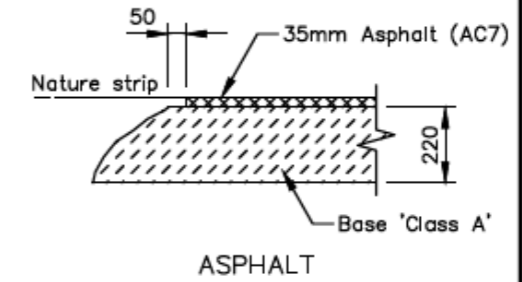
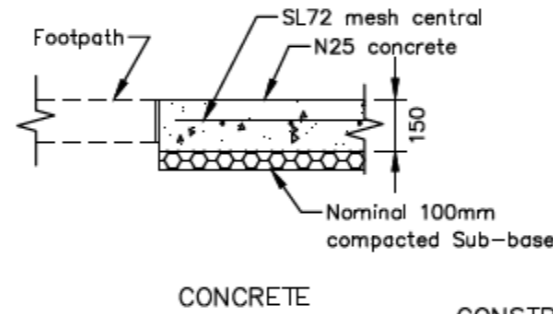
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TYPICAL DRIVEWAY PROFILE
SUITS 'B85' / 'B99' VEHICLES
('TYPE KC' KERB / FOOTPATH AT KERB SHOWN)

TYPICAL PLAN (DOMESTIC)
('TYPE KC' KERB SHOWN)



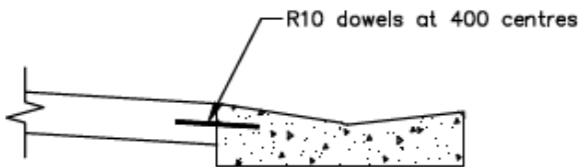
CONSTRUCTION NOTES

1. Concrete surfaces – Edge tooled, broom finish.
2. The Principal may increase depth of base course(s) for subgrade strength (C.B.R. < 4.0%)
3. Extend 10mm compressible joint filler through concrete footpaths only (Refer sheet TSD-R11, Footpaths).

DESIGN NOTES

4. Design driveway profiles (tabulated) are in accordance with the requirements of 'AS/NZS 2890.1 : 2004' using 'Standard Design Vehicles':
 - B85 Vehicle – Domestic driveways (including 1 – 2 units)
 - B99 Vehicle – Light commercial, large unit development.
5. An approved engineering design is required for varying site conditions and for driveways used by 'Non Standard' vehicles, detailing the structural, plan geometry and vertical profile requirements.
6. Maximum driveway width to be determined by a Council Officer
7. Fibre reinforcement is permissible but must be approved by the General Manager's delegated officer and the local council

DIMENSION TABLE – PLAN VIEW		
Dim.	Description	Notes
A	Boundary Offset	New Subdivisions – 1000mm min. Established areas – Match existing
B	Transition (Wing)	Types 'KC' and 'KCM': B = 1000mm
C	Min. kerb Length	Delete transitions and construct continuous crossing if 'C' IS < 500mm



SCALES: AS SHOWN
(All scales are correct at A3)

REFERENCES

XRef File: TSD-R09-v3.dwg

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TAS Division
IPWEA
INSTITUTE OF PUBLIC WORKS
ENGINEERING AUSTRALASIA

LGAT Local Government Association Tasmania

STANDARD DRAWING
URBAN ROADS
DRIVEWAYS

GPO Box 1521, Hobart Tasmania 7001 | 326 Macquarie Street, Hobart Tasmania 7000
T: 03 6233 5966 F: 03 6233 5996 Email: admin@lgat.tas.gov.au

ISSUE DATE: 18-09-2020
DWG No: TSD-R09-v3

Amendments	
Date	By

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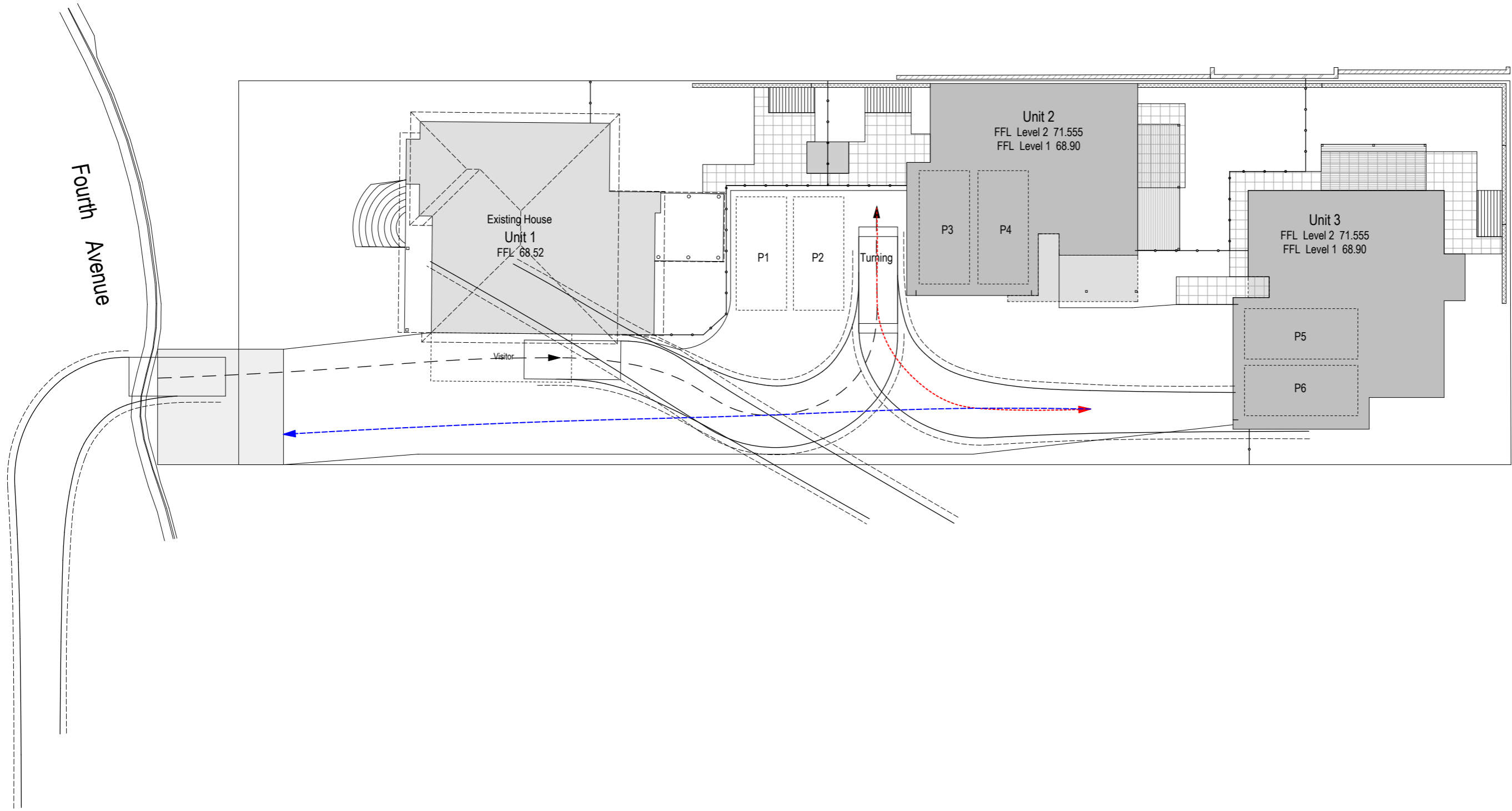
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 New Residential Units
Job address
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Drawing
 Scale: A3 - 1:200
 DWG: 6 of 38
 Date: 24 March 2026
 Job No: 2025-38

Manoeuvring Visitor



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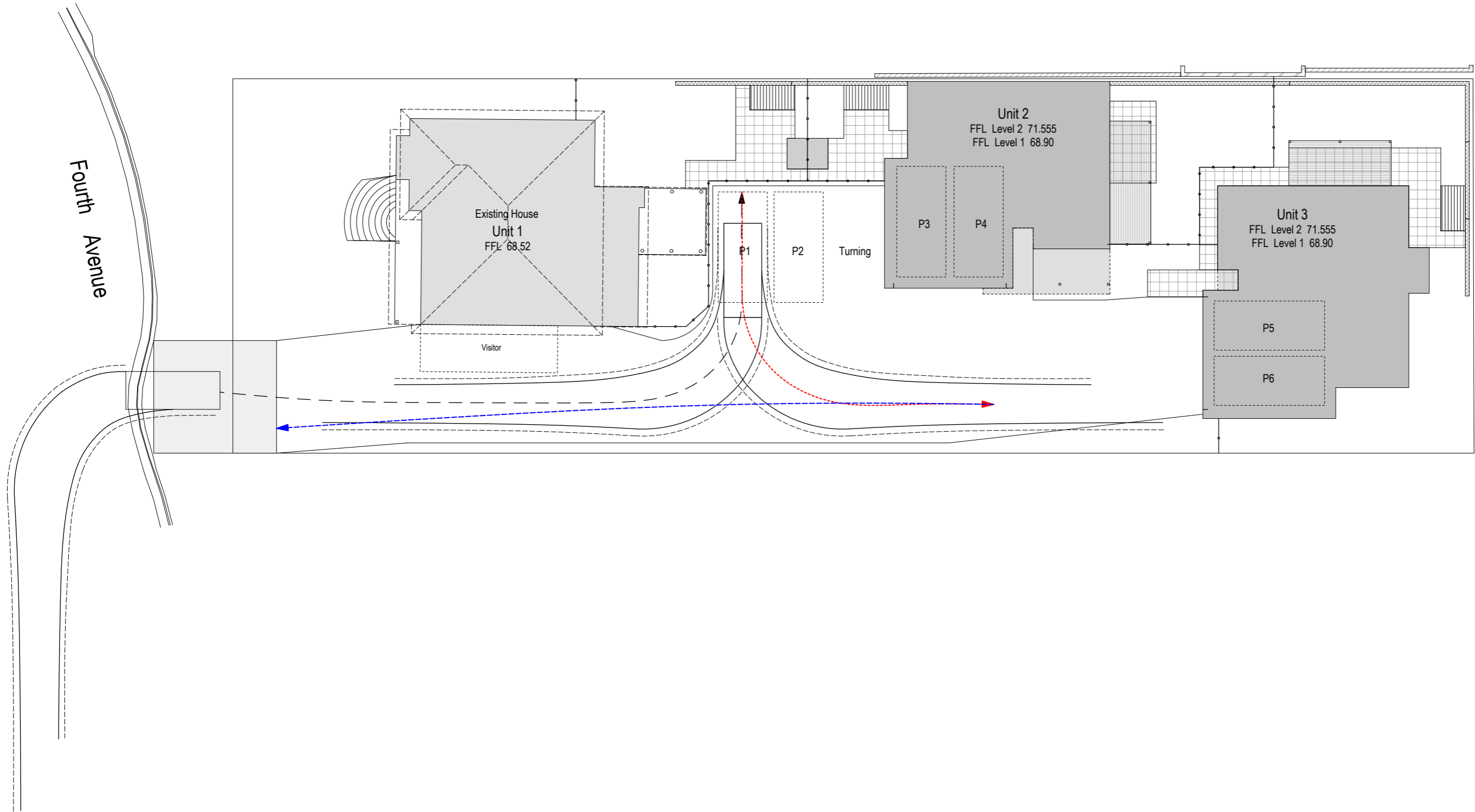
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Manouevring Parking 1

Amendments	
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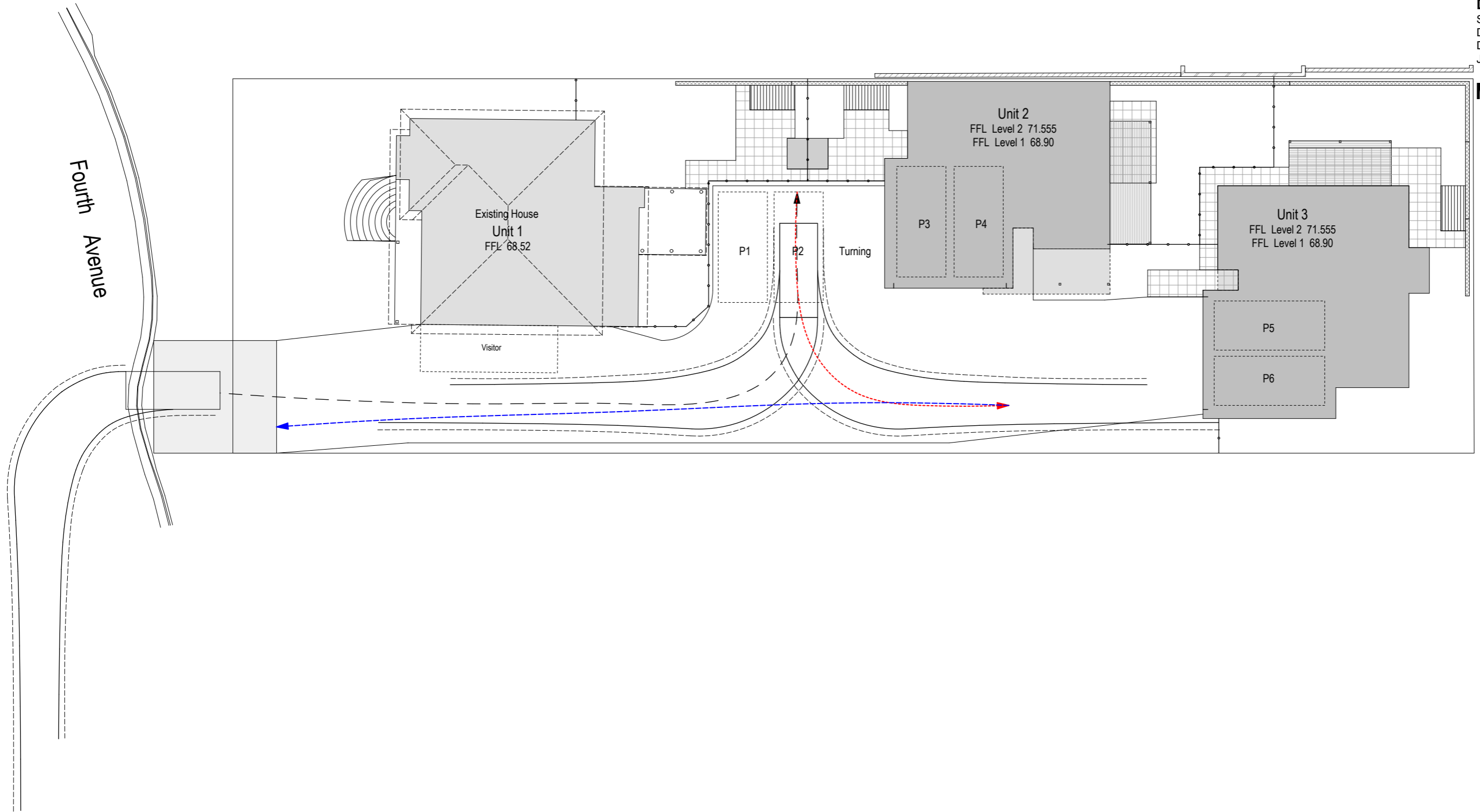
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 Scale: A3 - 1:200
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 Job No: 2025-38



Manoeuvring Parking 2

Amendments	
Date	By
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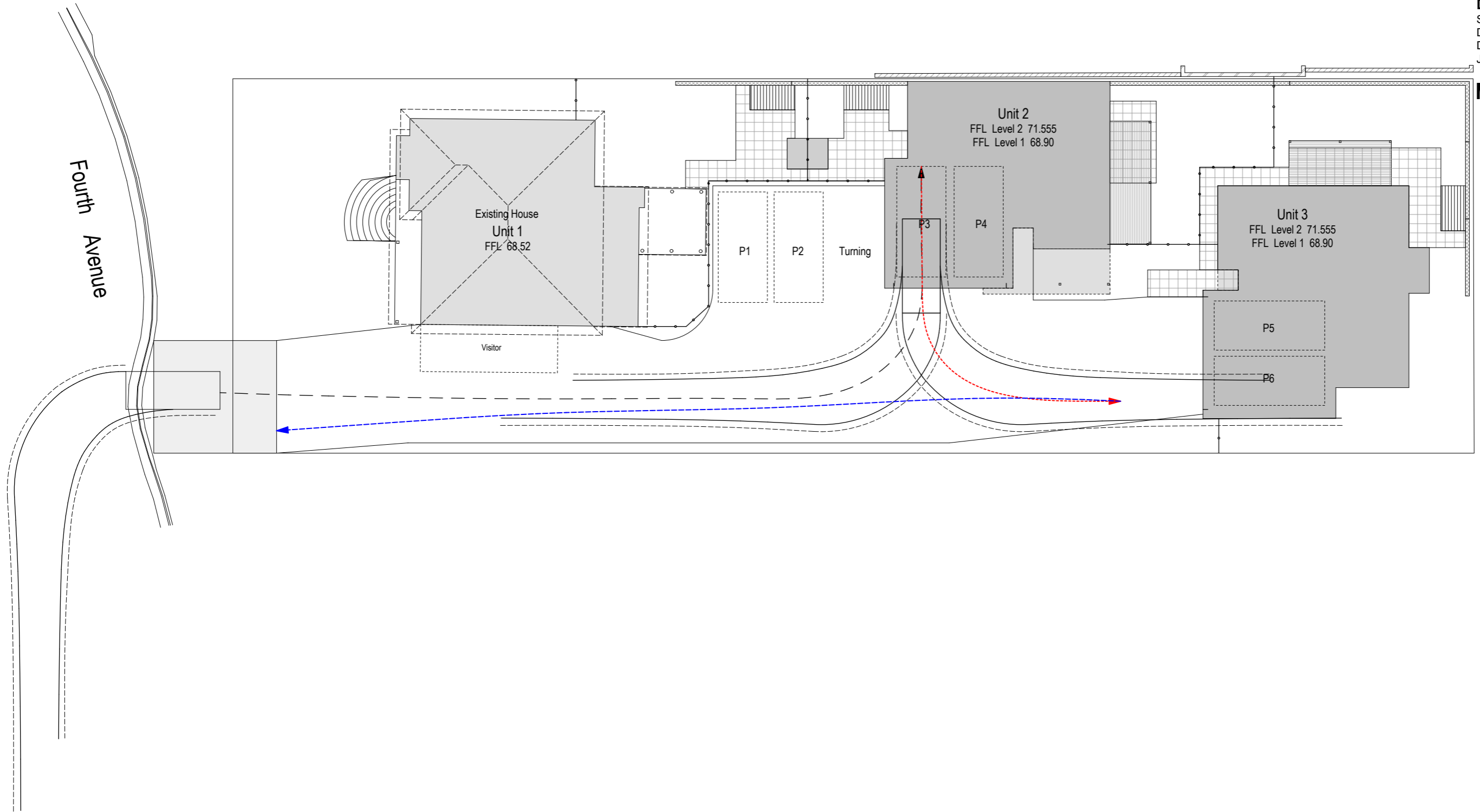
Client
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 New Residential Units

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 Scale: A3 - 1:200
 DWG: 9 of 38
 Date: 24 March 2026
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Manouevring Parking 3



Amendments	
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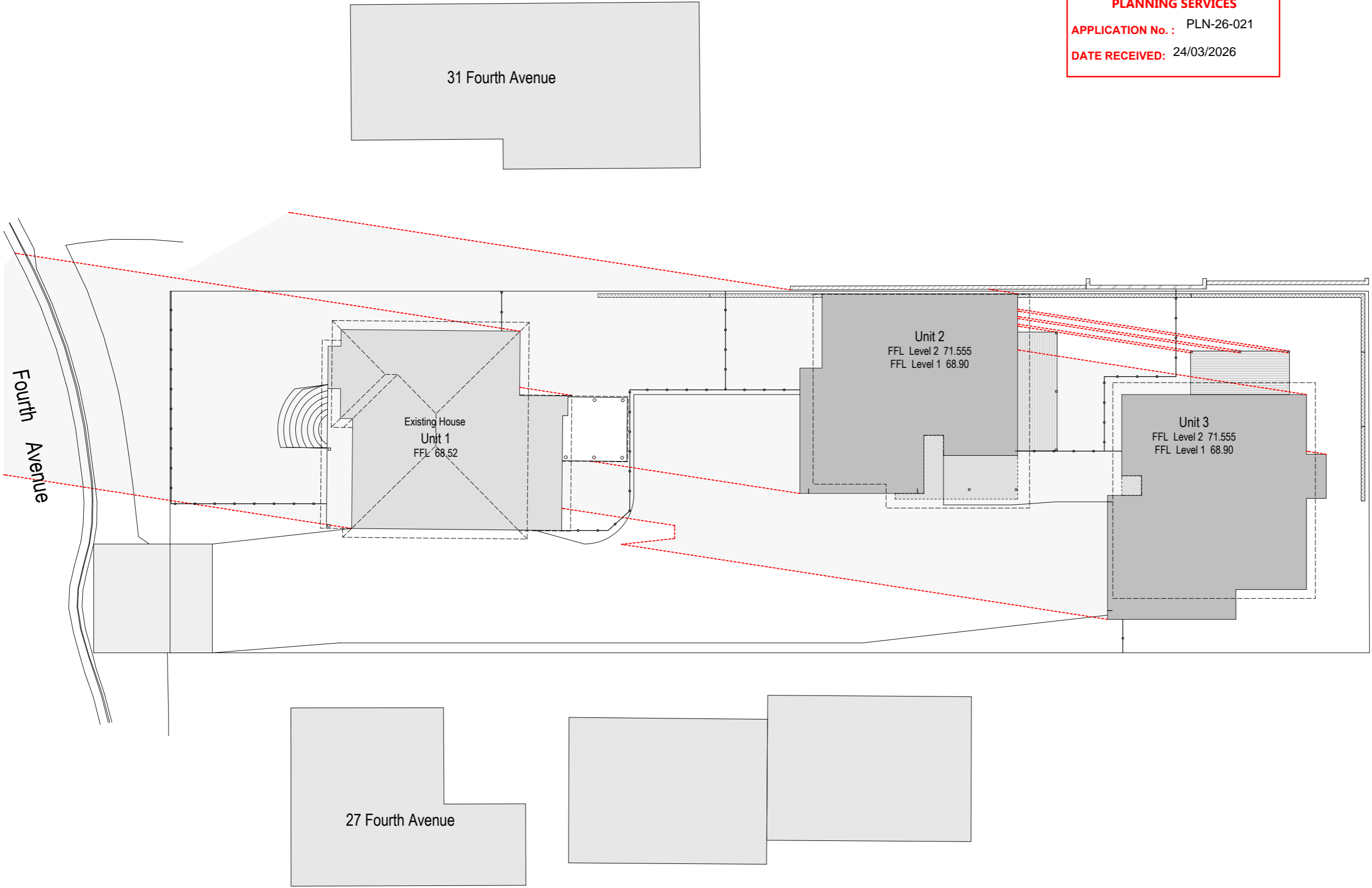
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Drawing
 Scale: A3 - 1:200
 DWG: 16 of 38
 Date: 24 March 2026
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Shadow New 9am



Amendments	
Date	By

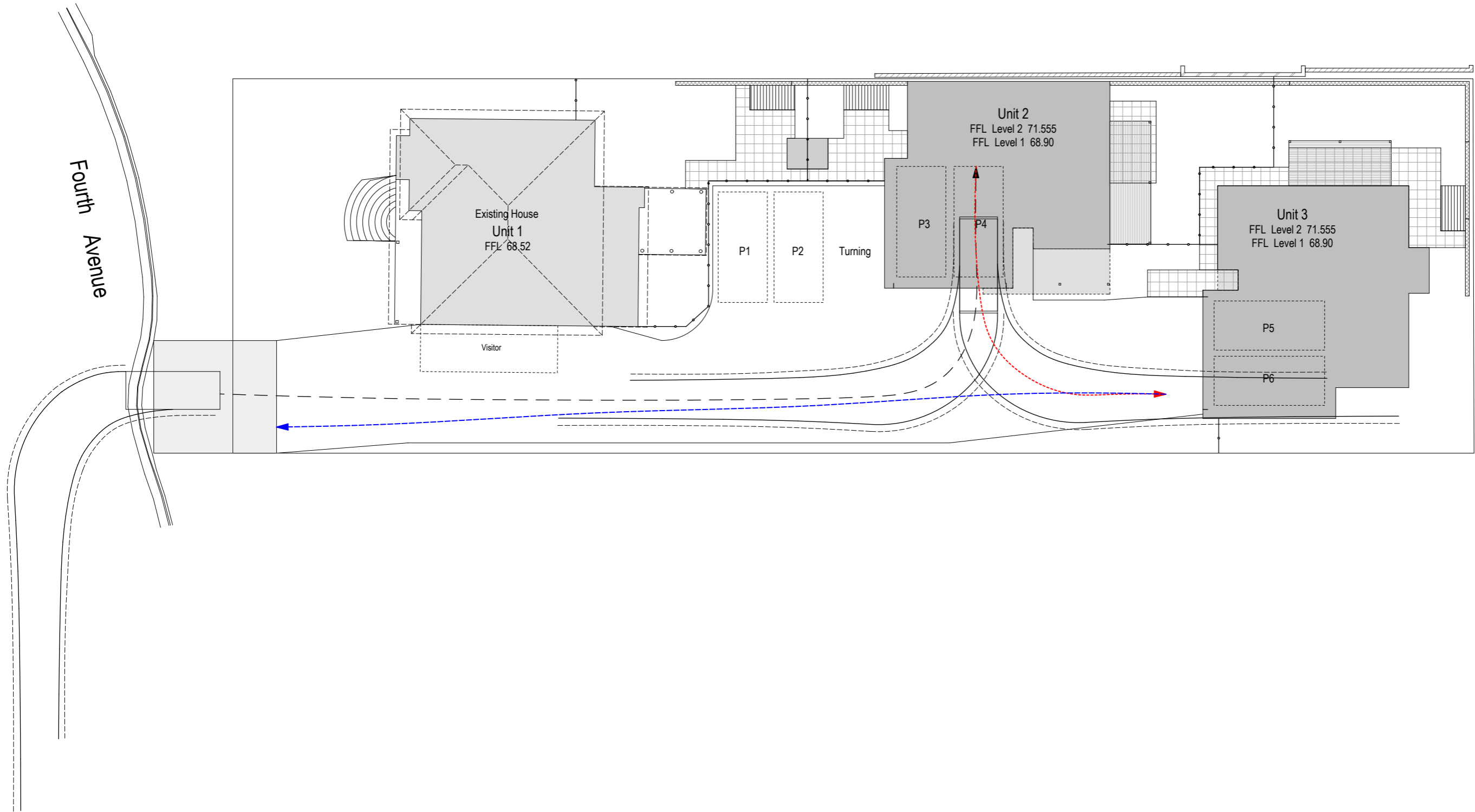
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Manoeuvring Parking 4



Amendments	
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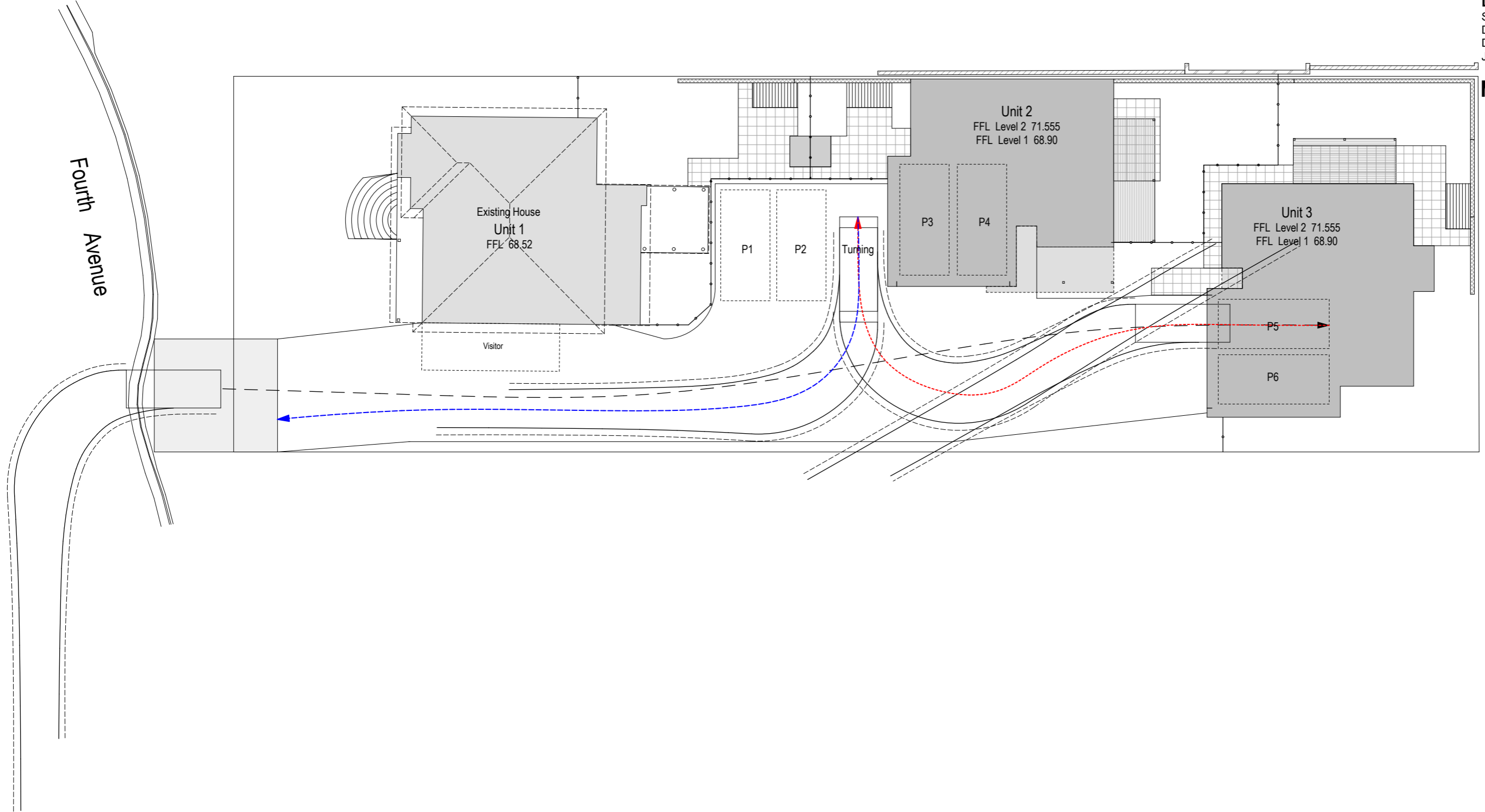
Client
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Job
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Job address
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Drawing
 Scale: A3 - 1:200
 DWG: 11 of 38
 Date: 24 March 2026
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Manouvering Parking 5



Amendments	
Date	By
24-3-2026	CW

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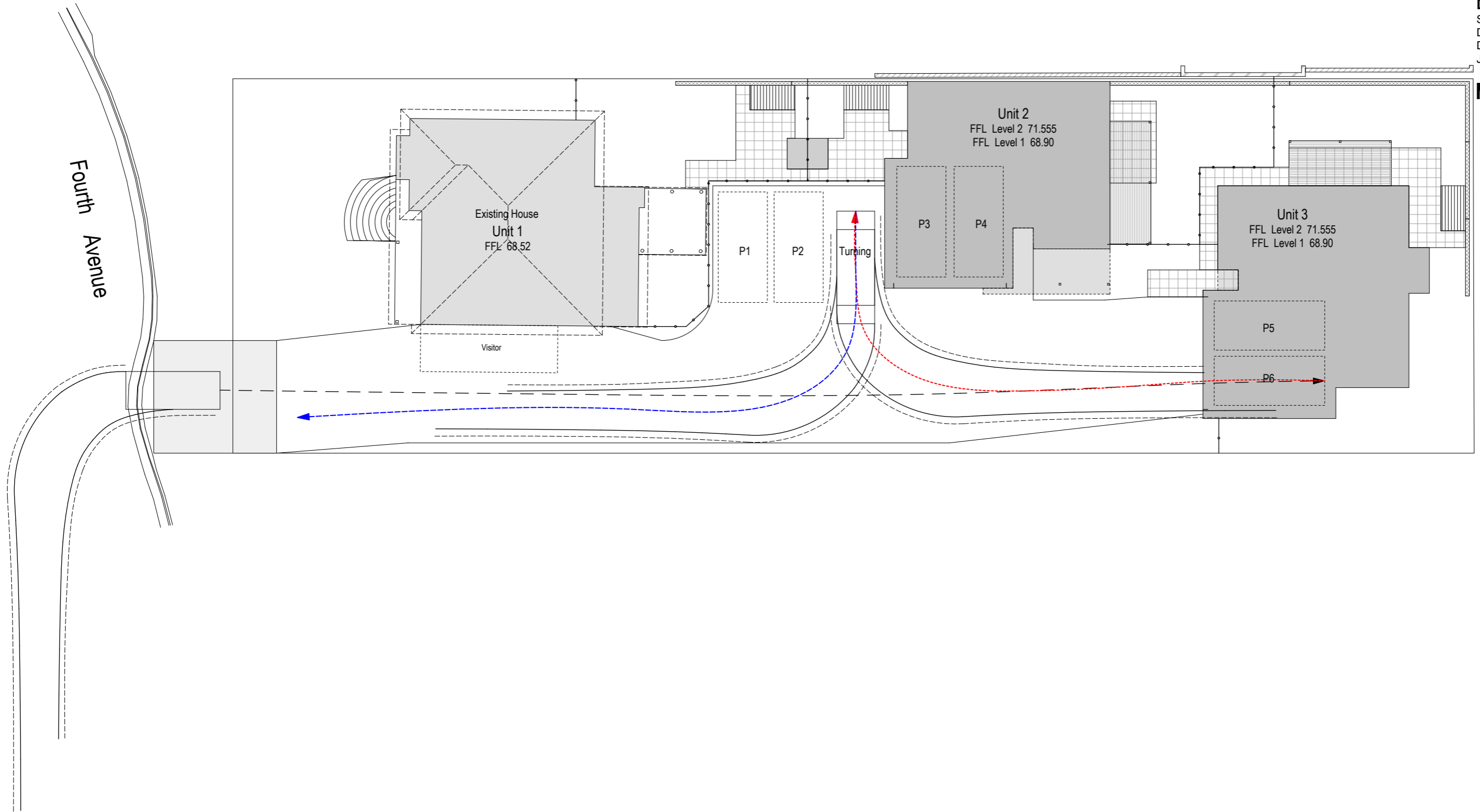
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 Scale: A3 - 1:200
 DWG: 12 of 38
 Date: 24 March 2026
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Manouvering Parking 6



Amendments	
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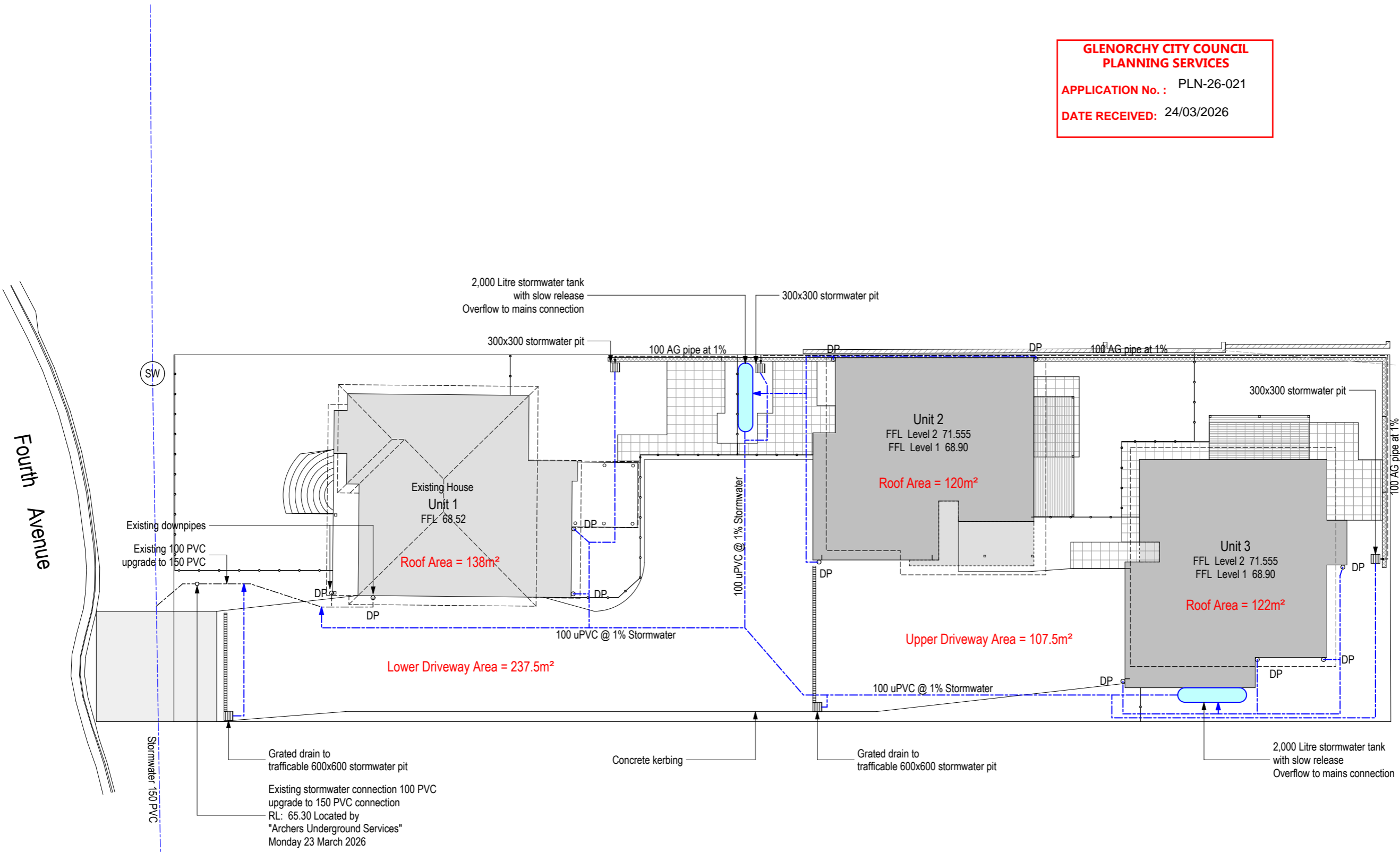
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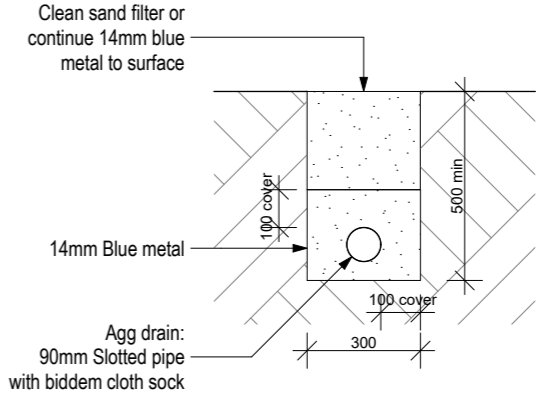
Site Stormwater



Plumbing
Final internal sizes & layout to be determined by the plumber to council approval. See specifications for other details.

○	Downpipes	
---	Sewer Line	
---	Stormwater Line	
---	Agg Pipe	
▭	450x450 Pit	

1	Toilet	100 dia
2	Bath	40 dia
3	Basin	40 dia
4	Trough	50 dia
5	Kit sink	50 dia
6	Shower	50 dia
7	Floor waste	50 dia



Amendments

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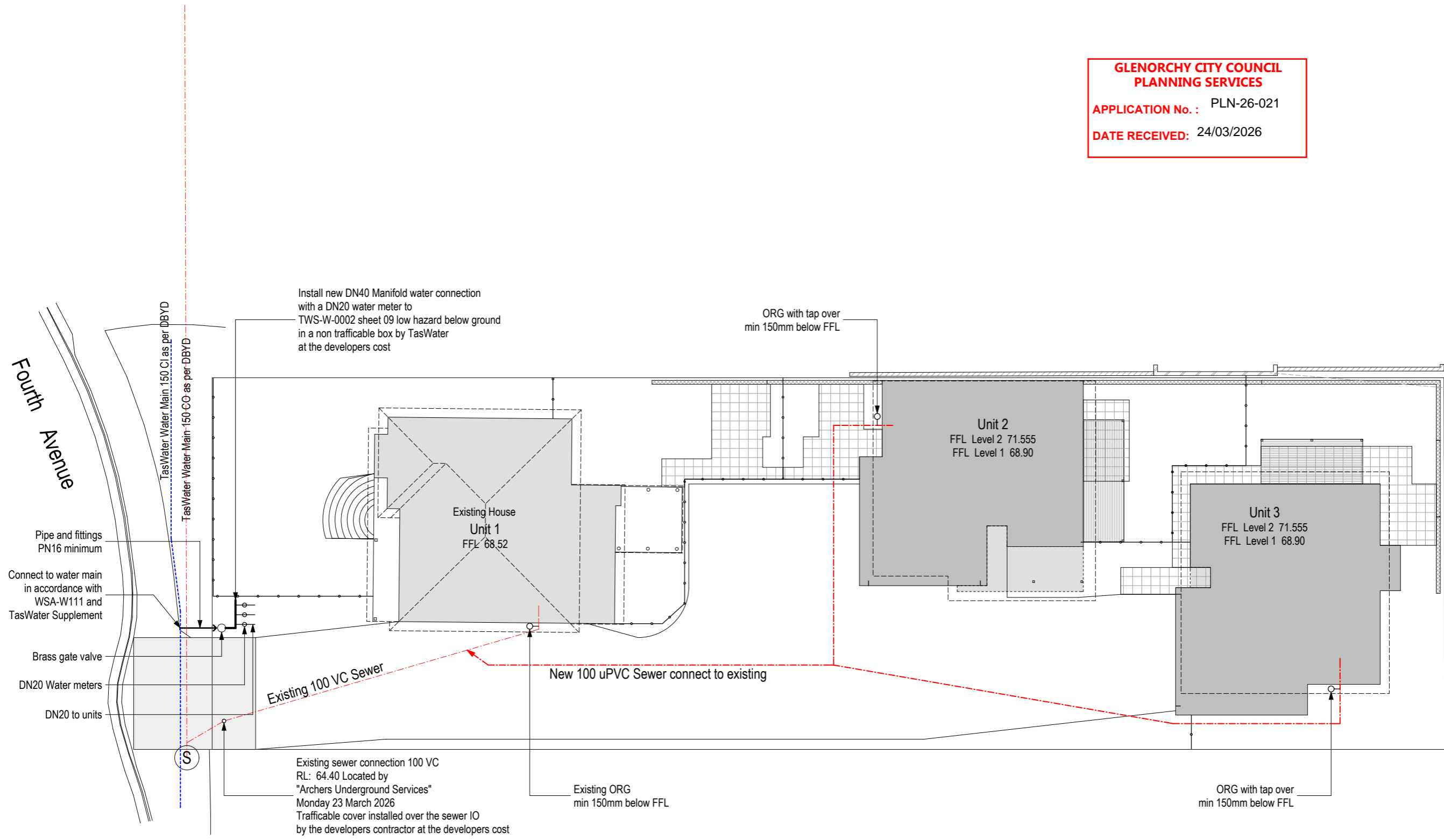
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Site Sewer/Mains Plan



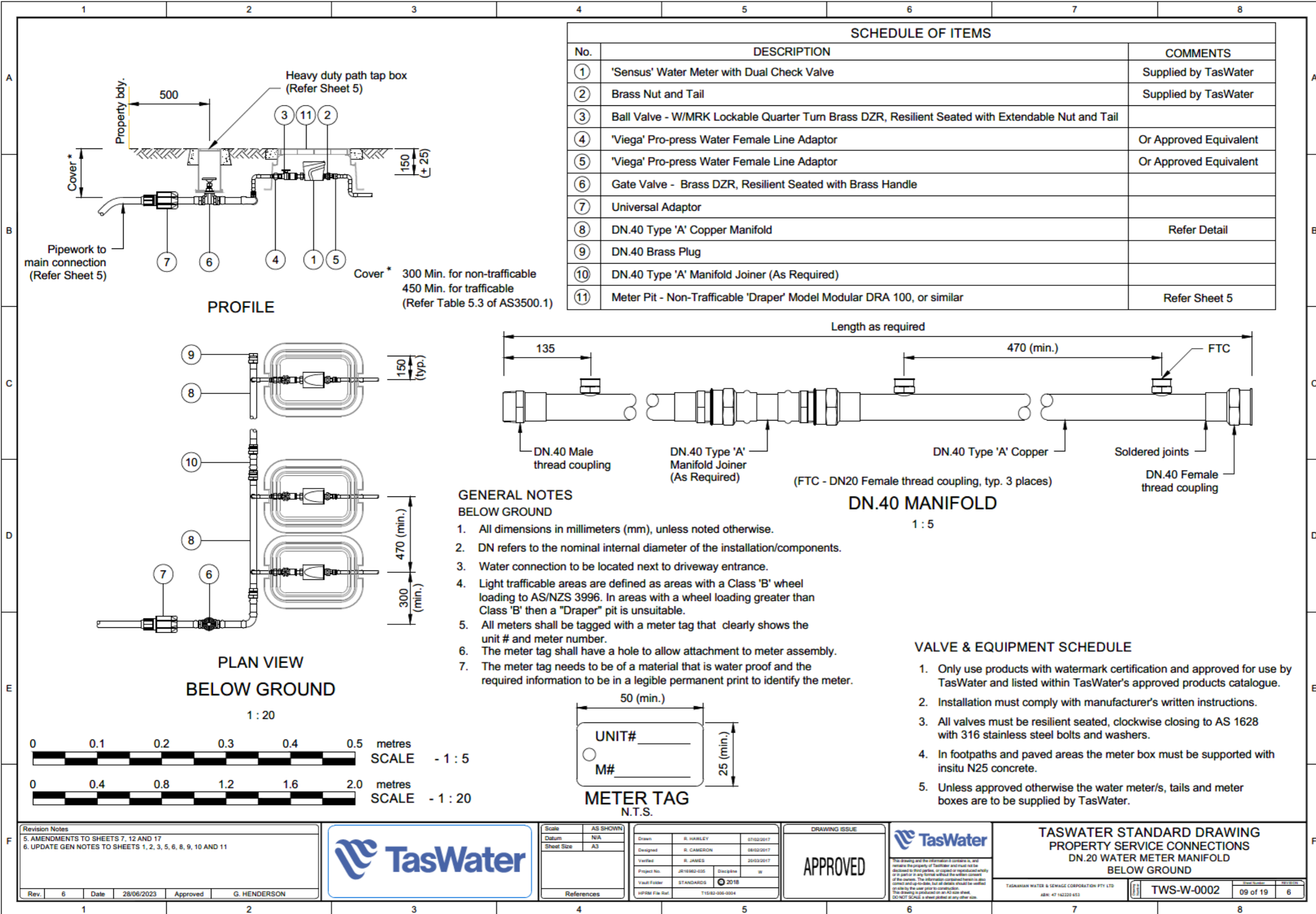
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- Downpipes
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- - - Stormwater Line
- - - Agg Pipe
- ▨ 450x450 Pit

- | | | |
|---|-------------|---------|
| 1 | Toilet | 100 dia |
| 2 | Bath | 40 dia |
| 3 | Basin | 40 dia |
| 4 | Trough | 50 dia |
| 5 | Kit sink | 50 dia |
| 6 | Shower | 50 dia |
| 7 | Floor waste | 50 dia |

Amendments	
Date	By

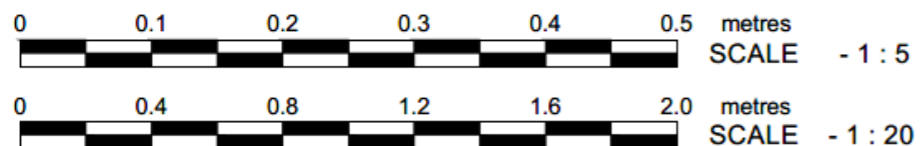
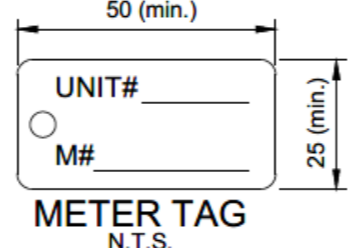
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SCHEDULE OF ITEMS		
No.	DESCRIPTION	COMMENTS
①	'Sensus' Water Meter with Dual Check Valve	Supplied by TasWater
②	Brass Nut and Tail	Supplied by TasWater
③	Ball Valve - W/MRK Lockable Quarter Turn Brass DZR, Resilient Seated with Extendable Nut and Tail	
④	'Viega' Pro-press Water Female Line Adaptor	Or Approved Equivalent
⑤	'Viega' Pro-press Water Female Line Adaptor	Or Approved Equivalent
⑥	Gate Valve - Brass DZR, Resilient Seated with Brass Handle	
⑦	Universal Adaptor	
⑧	DN.40 Type 'A' Copper Manifold	Refer Detail
⑨	DN.40 Brass Plug	
⑩	DN.40 Type 'A' Manifold Joiner (As Required)	
⑪	Meter Pit - Non-Trafficable 'Draper' Model Modular DRA 100, or similar	Refer Sheet 5

- GENERAL NOTES BELOW GROUND**
- All dimensions in millimeters (mm), unless noted otherwise.
 - DN refers to the nominal internal diameter of the installation/components.
 - Water connection to be located next to driveway entrance.
 - Light trafficable areas are defined as areas with a Class 'B' wheel loading to AS/NZS 3996. In areas with a wheel loading greater than Class 'B' then a "Draper" pit is unsuitable.
 - All meters shall be tagged with a meter tag that clearly shows the unit # and meter number.
 - The meter tag shall have a hole to allow attachment to meter assembly.
 - The meter tag needs to be of a material that is water proof and the required information to be in a legible permanent print to identify the meter.

- VALVE & EQUIPMENT SCHEDULE**
- Only use products with watermark certification and approved for use by TasWater and listed within TasWater's approved products catalogue.
 - Installation must comply with manufacturer's written instructions.
 - All valves must be resilient seated, clockwise closing to AS 1628 with 316 stainless steel bolts and washers.
 - In footpaths and paved areas the meter box must be supported with insitu N25 concrete.
 - Unless approved otherwise the water meter/s, tails and meter boxes are to be supplied by TasWater.



Revision Notes

5. AMENDMENTS TO SHEETS 7, 12 AND 17
6. UPDATE GEN NOTES TO SHEETS 1, 2, 3, 5, 6, 8, 9, 10 AND 11

Rev.	Date	Approved	By
6	28/06/2023	G. HENDERSON	



Scale	AS SHOWN
Datum	N/A
Sheet Size	A3

Drawn	R. HAWLEY	07/03/2017
Designed	R. CAMERON	08/02/2017
Verified	R. JAMES	29/03/2017
Project No.	JR16962-035	Discipline W
Vault Folder	STANDARDS	2018
HPRM File Ref.	T1582-006-0004	

DRAWING ISSUE

APPROVED



**TASWATER STANDARD DRAWING
PROPERTY SERVICE CONNECTIONS
DN.20 WATER METER MANIFOLD
BELOW GROUND**

TASMANIAN WATER & SEWAGE CORPORATION PTY LTD
ABN: 47 142220 653

TWS-W-0002 09 of 19 6

Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-26-021
DATE RECEIVED: 24/03/2026



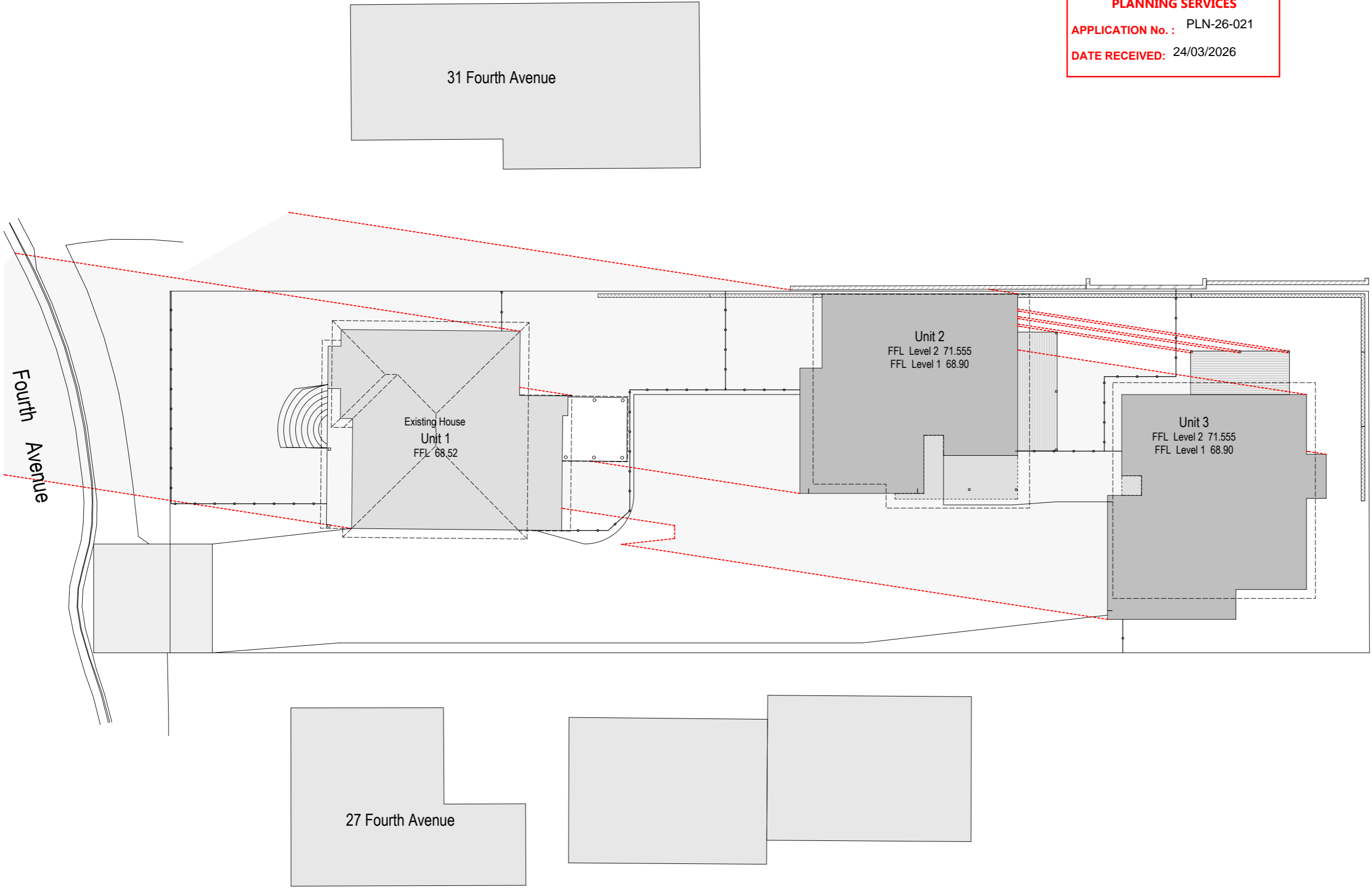
ABN: 18 220 805 074
 Compliance No: CC 1159 Q
 m: 0409 432 670
 e: clint.draftone@bigpond.com

Client
 Fenton Investment Trust

Job
 New Residential Units
Job address
 29 Fourth Avenue,
 West Moonah

Drawing
 Scale: A3 - 1:200
 DWG: 16 of 38
 Date: 24 March 2026
 Job No: 2025-38

Shadow New 9am



Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

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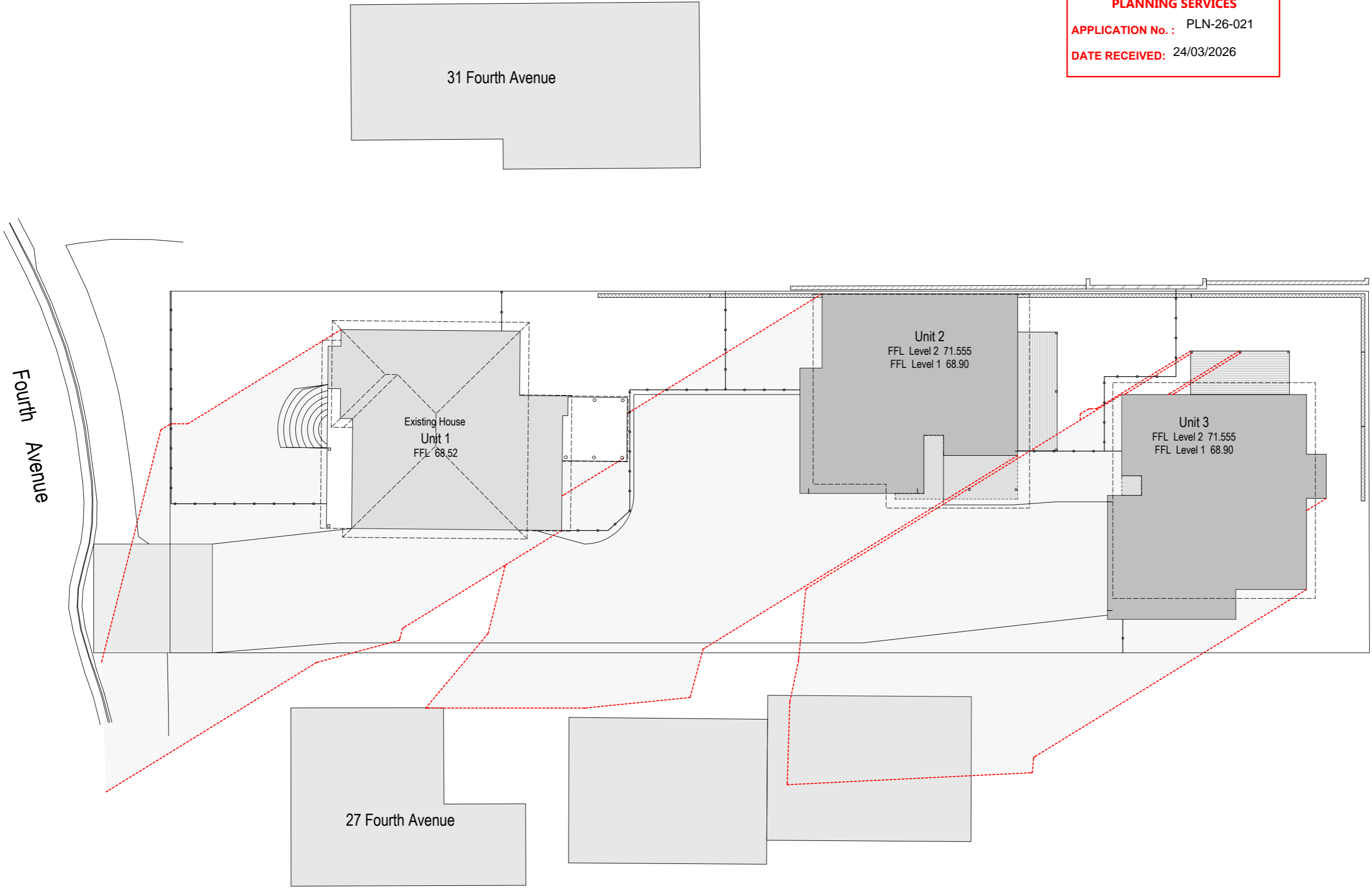
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Client
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Job
 New Residential Units
Job address
 29 Fourth Avenue,
 West Moonah

Drawing
 Scale: A3 - 1:200
 DWG: 17 of 38
 Date: 24 March 2026
 Job No: 2025-38

Shadow New 12noon



Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

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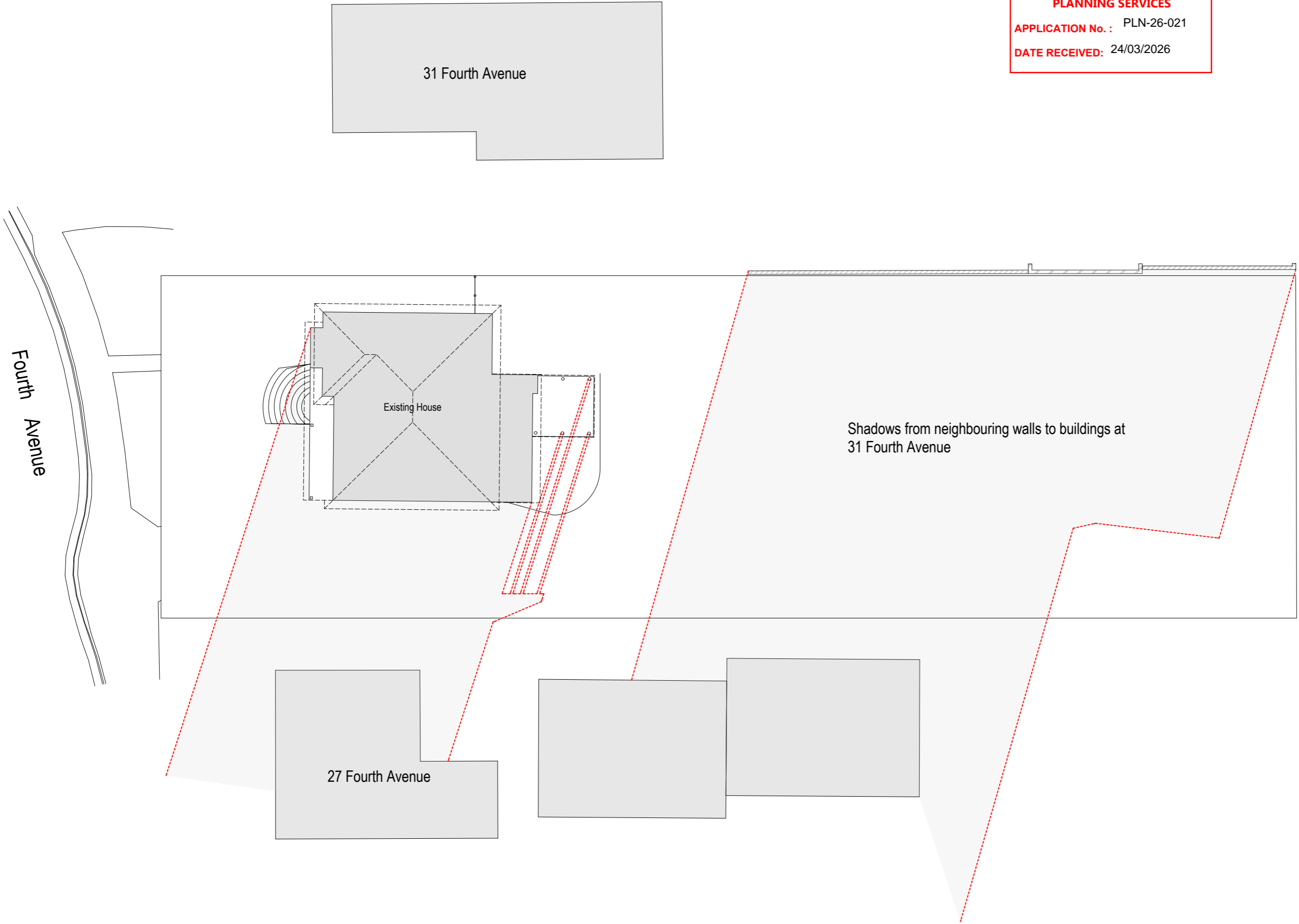
Client
 Fenton Investment Trust

Job
 New Residential Units

Job address
 29 Fourth Avenue,
 West Moonah

Drawing
 Scale: A3 - 1:200
 DWG: 18 of 38
 Date: 24 March 2026
 Job No: 2025-38

Shadow Existing 3pm



Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

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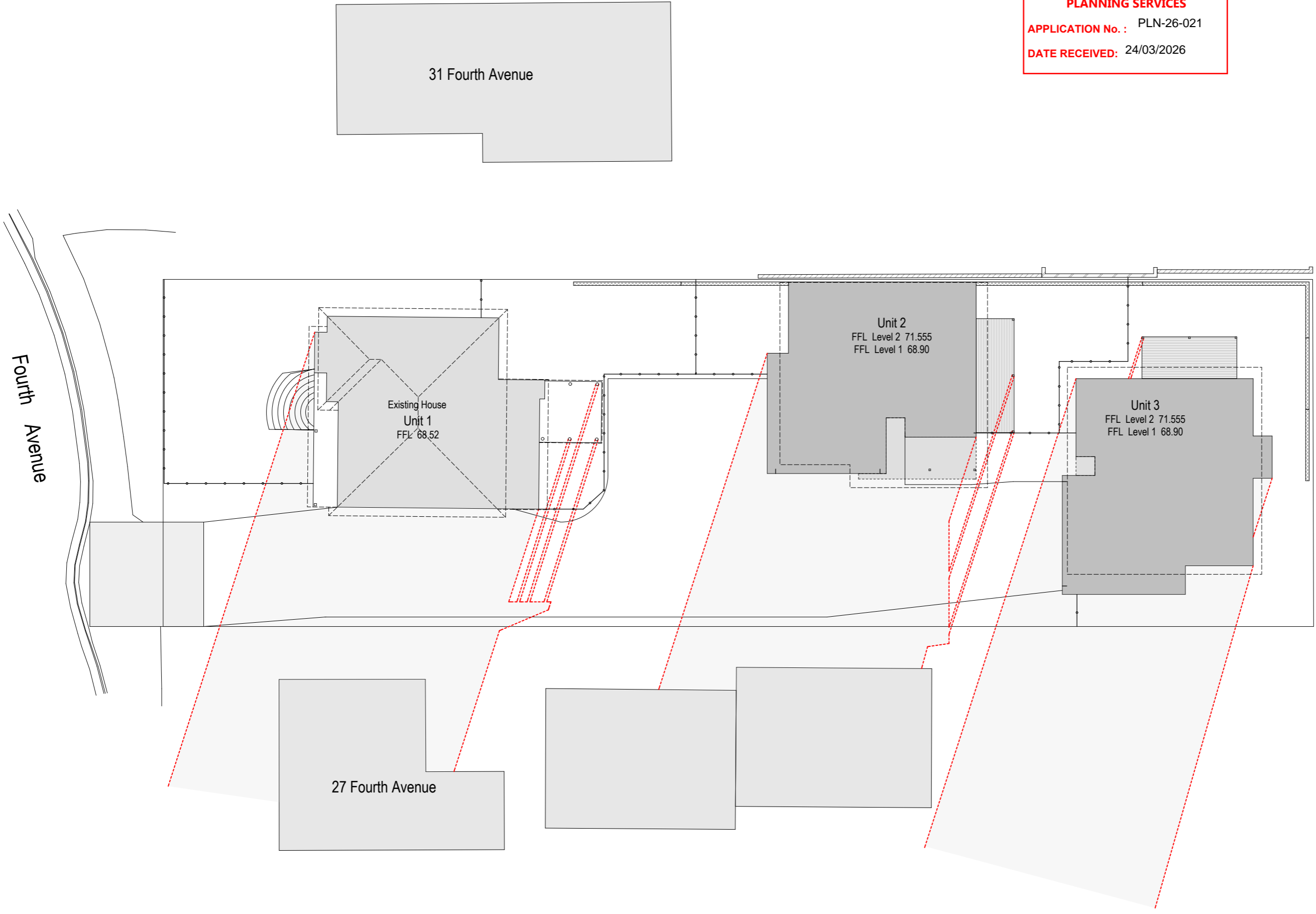
Client
 Fenton Investment Trust

Job
 New Residential Units

Job address
 29 Fourth Avenue,
 West Moonah

Drawing
 Scale: A3 - 1:200
 DWG: 19 of 38
 Date: 24 March 2026
 Job No: 2025-38

Shadow New 3pm



Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

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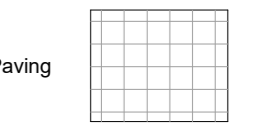
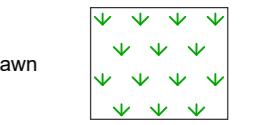
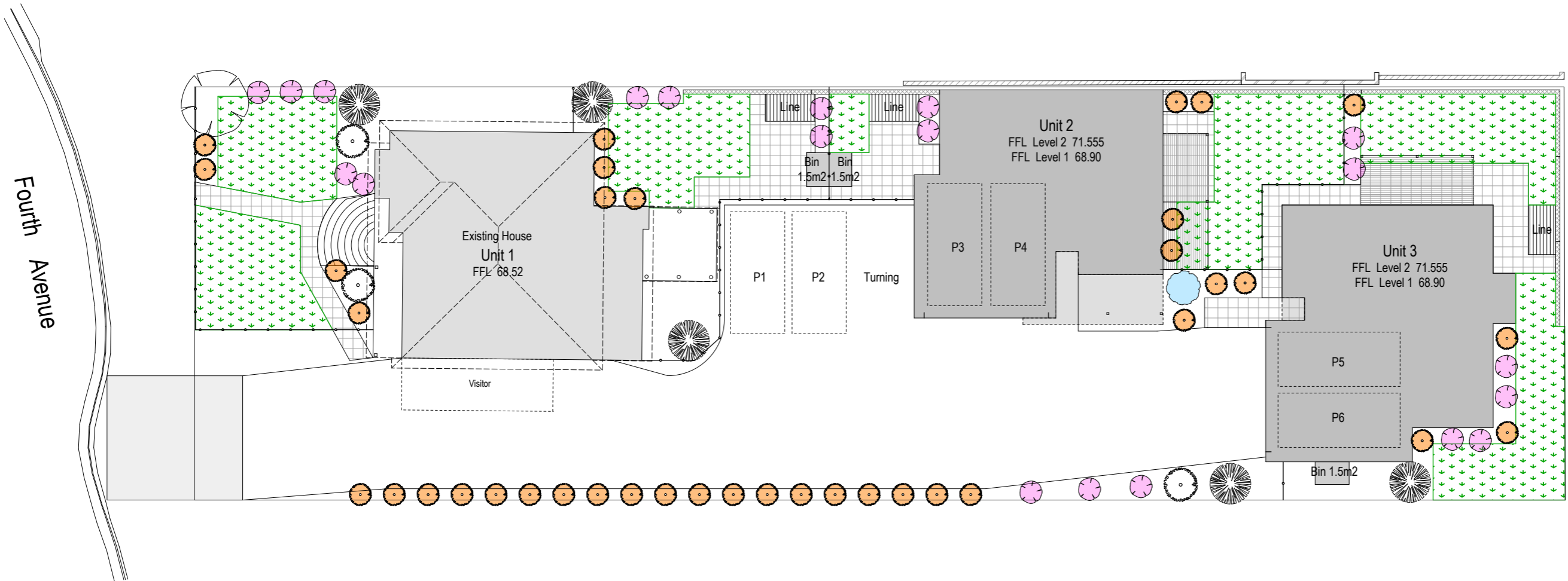
Client
Fenton Investment Trust

Job
New Residential Units

Job address
29 Fourth Avenue,
West Moonah

Drawing
Scale: A3 - 1:200
DWG: 20 of 38
Date: 24 March 2026
Job No: 2025-38

Landscaping Plan



Botanical Name	Common Name	Heigh	Width
Leptospermum Laniderum	Tea Tree	4-6m	3m
Callistemon	Pallidus	3m	3m
Westringia Fruticosa	Native Rosemary	1.5m	1.5m
Grevillea Australis	Grevillea	2.5m	2m
Pomaderris Elliptica	Yellow Dogwood	3m	1.5m
Bauera Rubioides	Dog Rose 2m	1m	1m
Tetratheca Pilosa	Black Eyed Susan	.5m	.5m
Stackhousia Monogyna	Candles	.5m	.5m

Amendments	
Date	By

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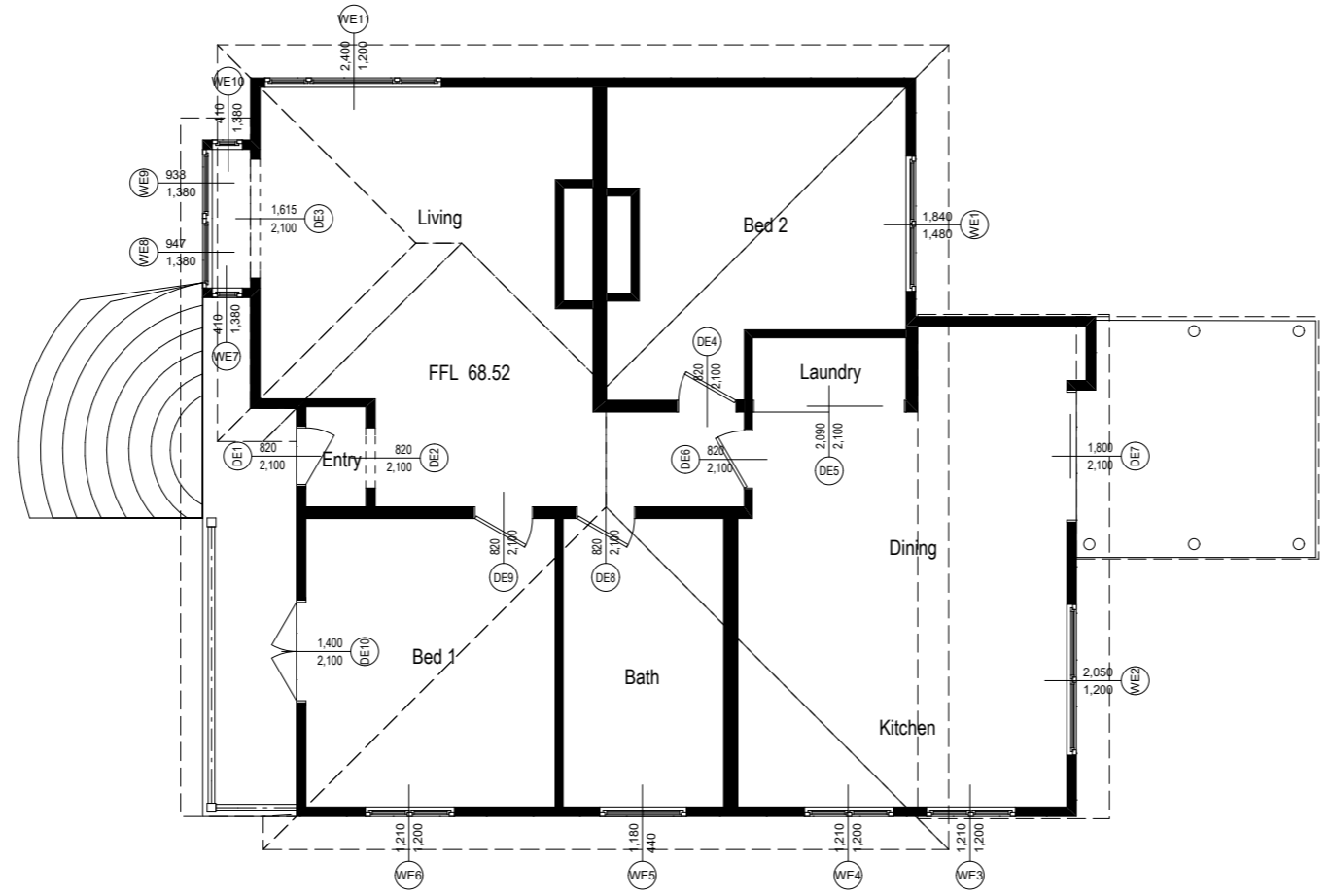
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Client
 Fenton Investment Trust
Job
 New Residential Units
Job address
 29 Fourth Avenue,
 West Moonah
Drawing
 Scale: A3 - 1:100
 DWG: 21 of 38
 Date: 24 March 2026
 Job No: 2025-38

Floor Plan - Exist House



Walls

- Existing Walls
- New Walls
- Walls to be removed

Windows

Window number W05

Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Elevations - Exist House

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PLANNING SERVICES**
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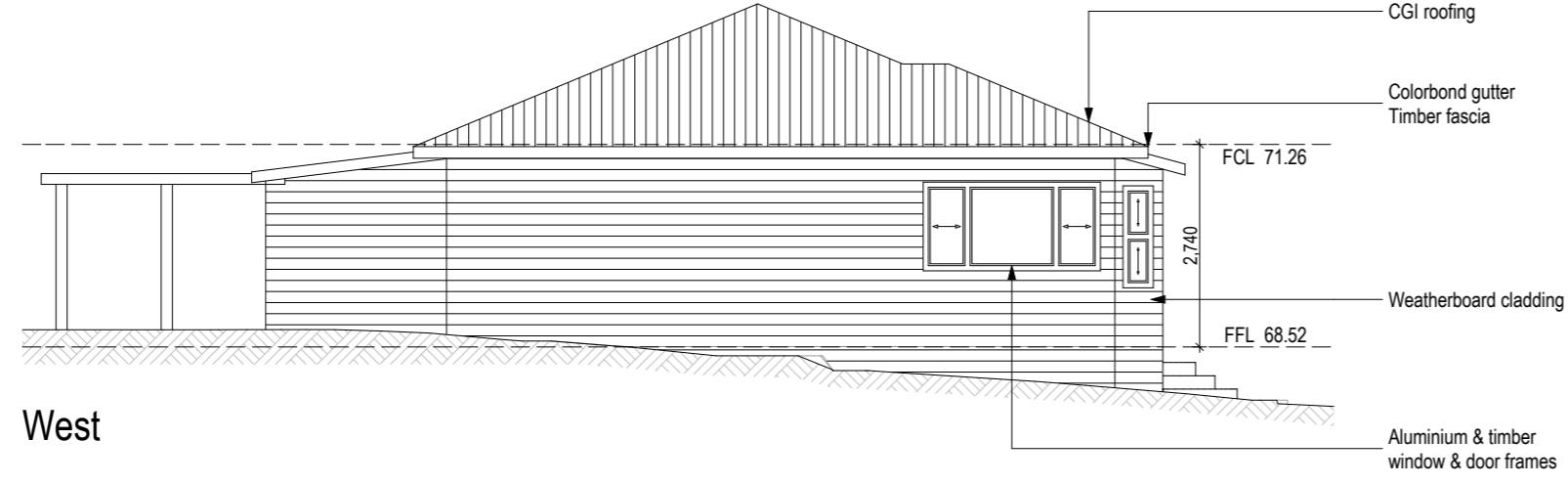
East



North



South



West

Material & Colour Schedule

Element	Material	Colour
Wall cladding	Timber weatherboards	Cream
Downpipes	uPVC	To match wall
Roof	CGI	CB Pale Eucalypt
Windows & Doors	Aluminium/Timber	White & Silver

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand

Amendments

Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

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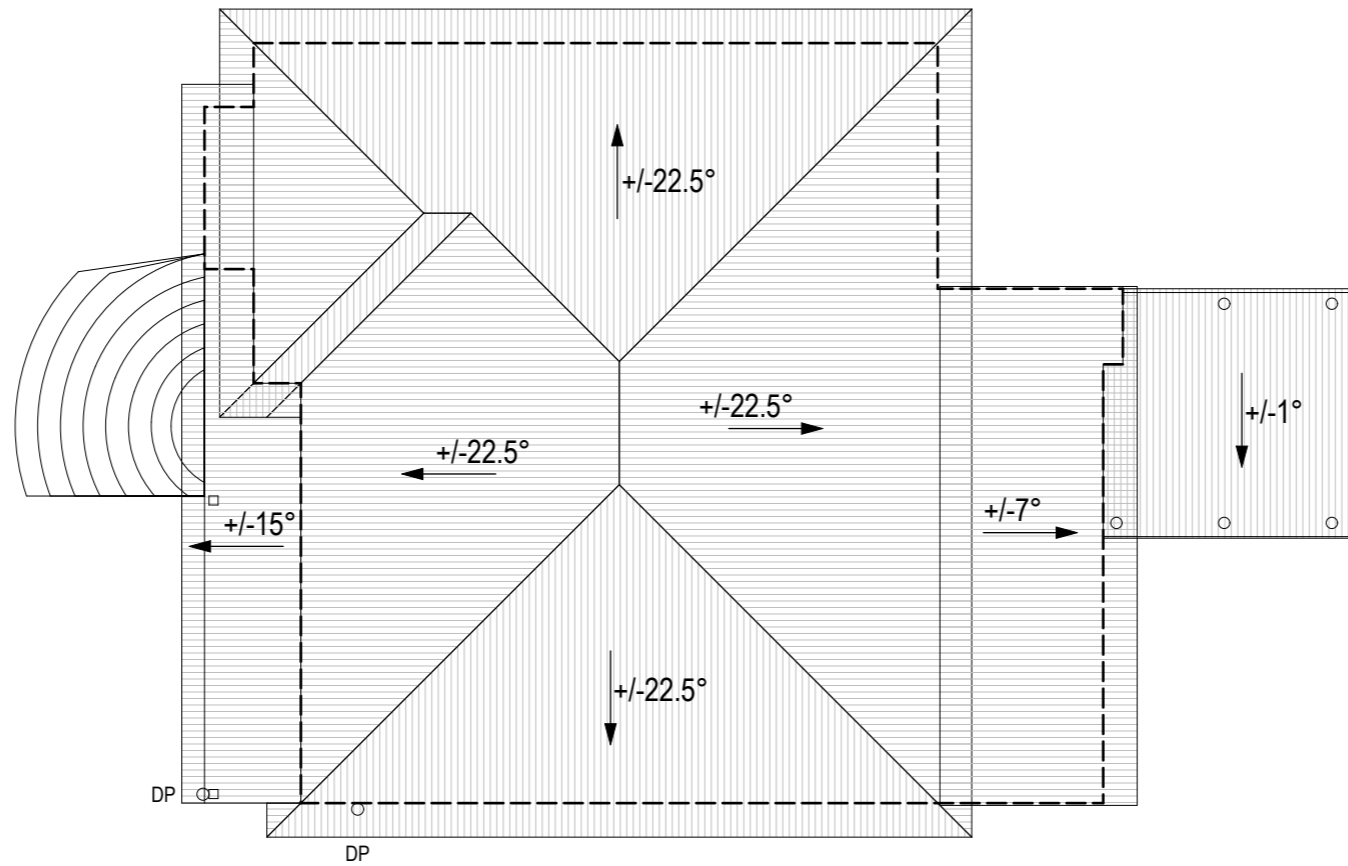
Client
 Fenton Investment Trust

Job
 New Residential Units

Job address
 29 Fourth Avenue,
 West Moonah

Drawing
 Scale: A3 - 1:100
 DWG: 23 of 38
 Date: 24 March 2026
 Job No: 2025-38

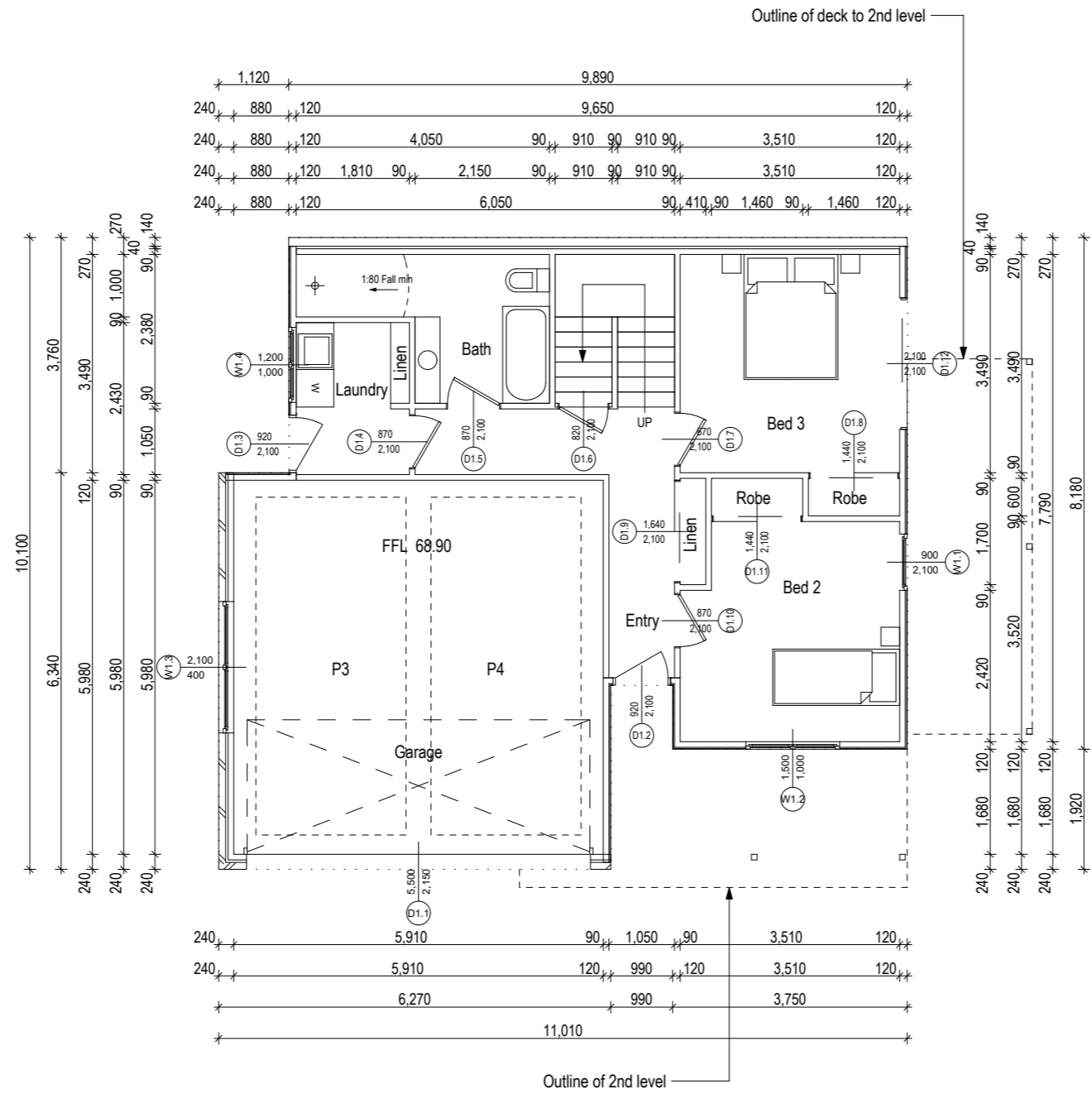
Roof Plan - Exist House



Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Floor Plan - Unit 2 Level 1



Walls

- Existing Walls
- New Walls
- Walls to be removed

Windows

Width 1,210 Height 900

W05 Window number

Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

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PLANNING SERVICES**
APPLICATION No. : PLN-26-021
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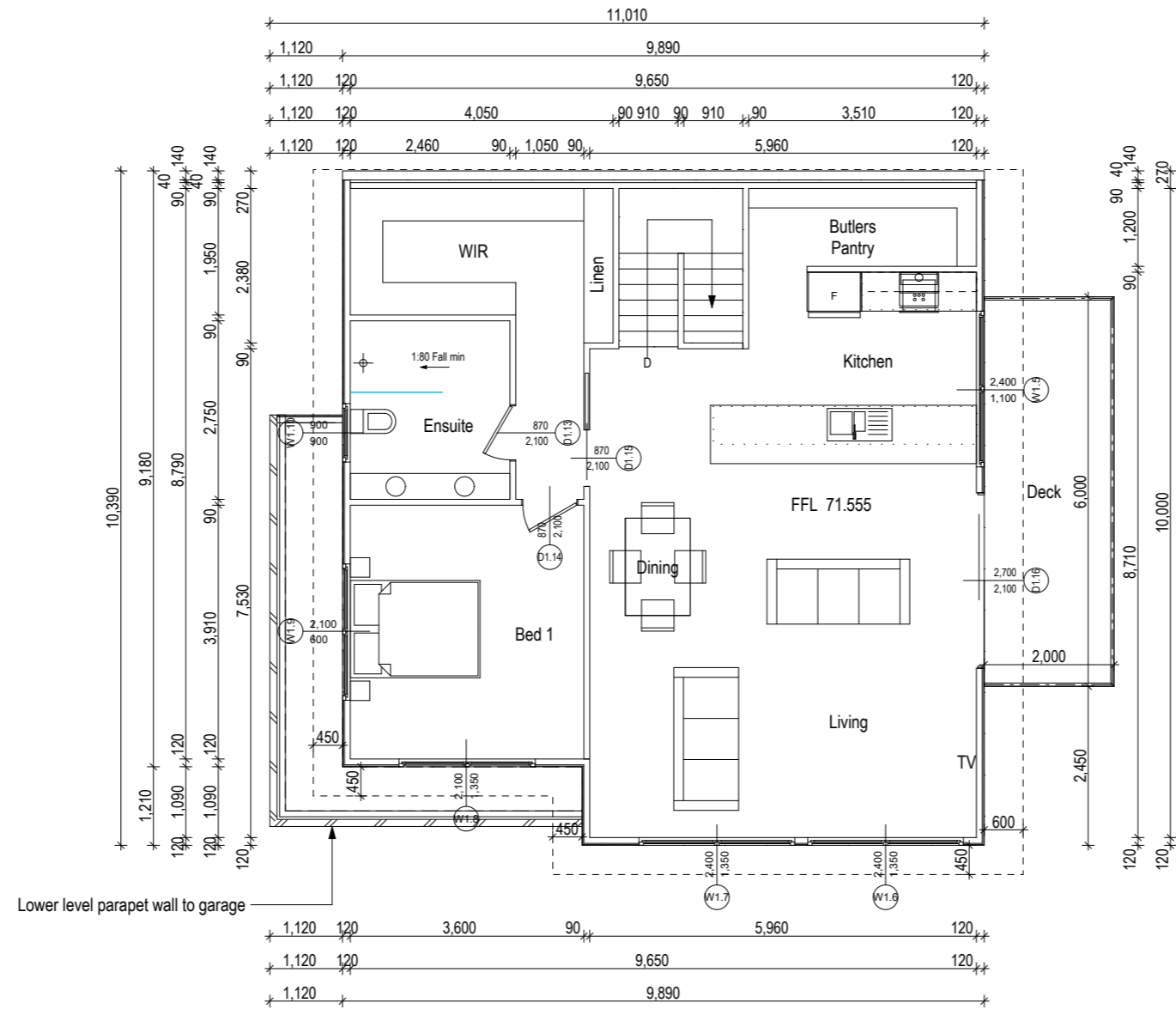
Client
Fenton Investment Trust

Job
New Residential Units

Job address
29 Fourth Avenue,
West Moonah

Drawing
Scale: A3 - 1:100
DWG: 25 of 38
Date: 24 March 2026
Job No: 2025-38

Floor Plan - Unit 2 Level 2



Walls

- Existing Walls
- New Walls
- Walls to be removed

Windows

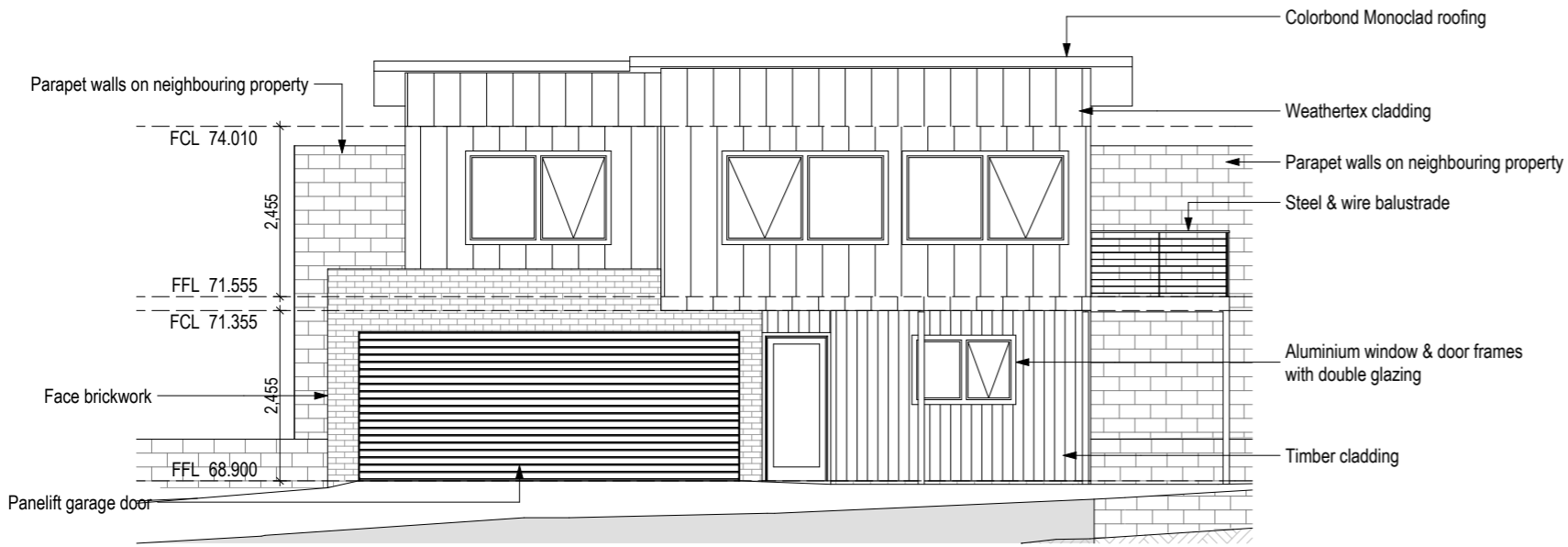
Width 1,210 Height 900

W05 Window number

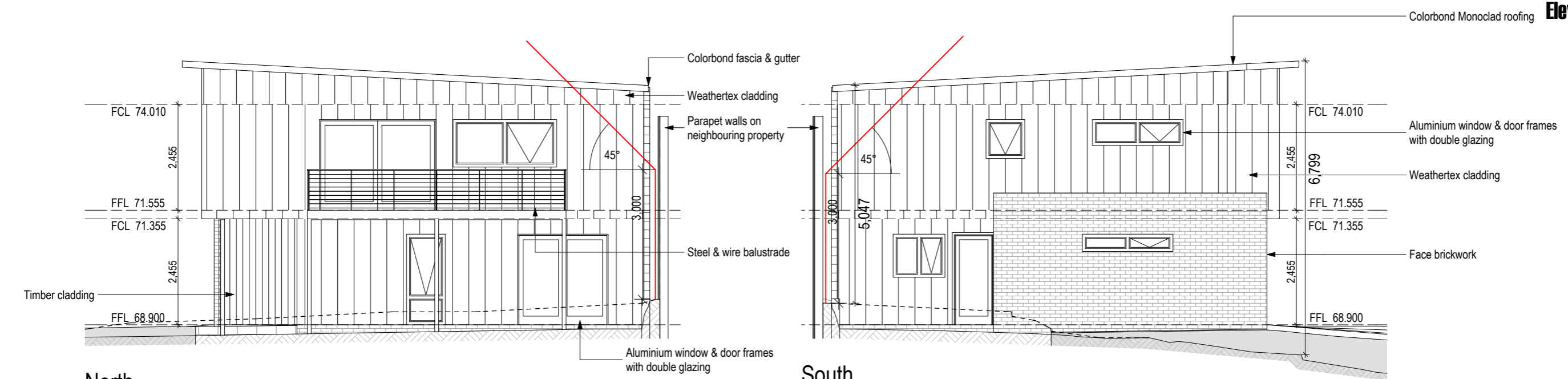
Amendments	
Date	By

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**GLENORCHY CITY COUNCIL
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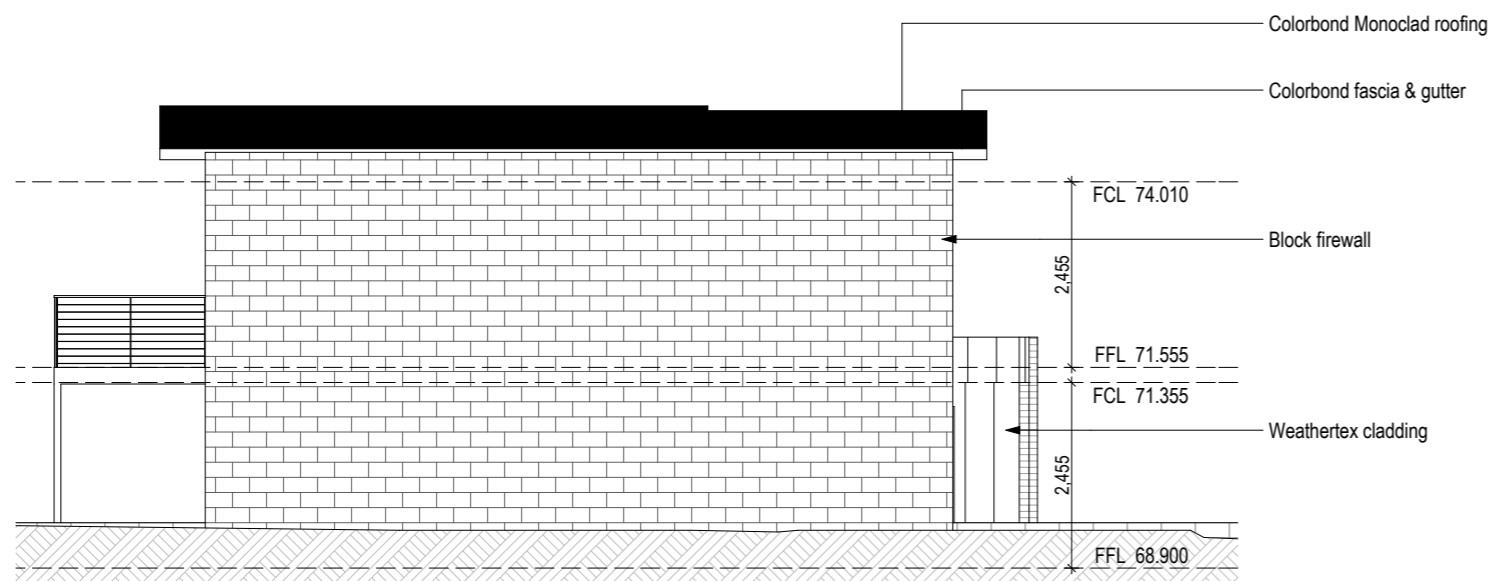
East



North

South

Elevations - Unit 2



West

NOTE:
 Cladding - Wheathertex
 See Installation manual and Codemark Certificate

Material & Colour Schedule		
Element	Material	Colour
Wall cladding	Weathertex	CB Monument
	Fusion Smooth or Weathergroove Smooth 300	
Wall cladding 2	Vertical timber	Natural oil
Masonry - Face Brick	Island Block	Graphite
Downpipes	uPVC	CB Monument
Roof	Colorbond Monoclad	CB Ironstone
Barge flashings	Colorbond	CB Monument
Windows & Doors	Aluminium	Silver
Deck	Steel frame	CB Monument
Deck balustrade	Steel & Glass	CB Monument
Decking boards	Timber	Oil
Garage Door	Steel	Timber look

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand

Amendments	
Date	By

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Part 7.4 Gutters and downpipes

7.4.1 Application

[New for 2022]

Table 7.4.3a: Size of gutter required to drain roof catchment area into one (1) downpipe for various rainfall intensities and roof catchment areas (A, B, C, D, E and F defined in Table 7.4.3b)

Design rainfall intensity (mm/h) (as per Table 7.4.3d)	Roof catchment area per downpipe — 30 m ²	Roof catchment area per downpipe — 40 m ²	Roof catchment area per downpipe — 50 m ²	Roof catchment area per downpipe — 60 m ²	Roof catchment area per downpipe — 70 m ²
120 mm/h	A or C	A or C	A or C	A or C	A or D
140 mm/h	A or C	A or C	A or C	A or D	B or E

Table 7.4.3b: Gutter sizes for various rainfall intensities

Gutter type	Gutter description	Minimum cross-sectional area (mm ²)
A	Medium rectangular gutter	6500
B	Large rectangular gutter	7900
C	115 mm D gutter	5200

Table 7.4.3c: Downpipe selection for gutter types (A, B, C, D, E and F defined in Table 7.4.3b)

Downpipe section	Gutter type A	Gutter type B	Gutter type C	Gutter type D	Gutter type E
75 mm dia.	Yes	Yes	Yes	Yes	No
100 mm x 50 mm	Yes	Yes	Yes	Yes	Yes

Table 7.4.3d: 5 minute duration rainfall intensities

Slate	Locality	Annual exceedance probability, 5% (mm/h)	Annual exceedance probability, 1% (mm/h)
TAS	Hobart	86	120

Table 7.4.4a: Overflow volume for continuous measure (L/s/m)

Design 5 minute duration rainfall intensity (mm/h) (from Table 7.4.3d)	Ridge to gutter length — 2 m	Ridge to gutter length — 4 m	Ridge to gutter length — 6 m	Ridge to gutter length — 8 m	Ridge to gutter length — 10 m	Ridge to gutter length — 12 m	Ridge to gutter length — 14 m	Ridge to gutter length — 16 m
150 mm/h	0.08 L/s/m	0.17 L/s/m	0.25 L/s/m	0.33 L/s/m	0.42 L/s/m	0.50 L/s/m	0.58 L/s/m	0.67 L/s/m
175 mm/h	0.10 L/s/m	0.19 L/s/m	0.29 L/s/m	0.39 L/s/m	0.49 L/s/m	0.58 L/s/m	0.68 L/s/m	0.78 L/s/m
200 mm/h	0.11 L/s/m	0.22 L/s/m	0.33 L/s/m	0.44 L/s/m	0.56 L/s/m	0.67 L/s/m	0.78 L/s/m	0.89 L/s/m
225 mm/h	0.13 L/s/m	0.25 L/s/m	0.38 L/s/m	0.50 L/s/m	0.63 L/s/m	0.75 L/s/m	0.88 L/s/m	1.0 L/s/m
250 mm/h	0.14 L/s/m	0.28 L/s/m	0.42 L/s/m	0.56 L/s/m	0.69 L/s/m	0.83 L/s/m	0.97 L/s/m	1.1 L/s/m

7.4.7 Acceptable dedicated overflow measure per downpipe

[2019: Table 3.5.3.4b]

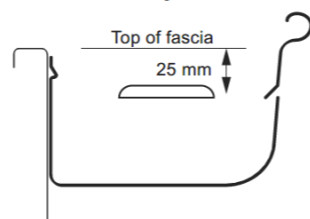
- For an end-stop weir with—
 - a minimum clear width of 100 mm; and
 - the weir edge installed a minimum 25 mm below the top of the fascia, the acceptable overflow is 0.5 L/s constructed in accordance with Figure 7.4.7a.
- An end-stop weir is not suitable where the end-stop abuts a wall.
- For an inverted nozzle installed within 500 mm of a gutter high point with—
 - a minimum nozzle size of 100 mm x 50 mm positioned lengthways in the gutter; and
 - the top of the nozzle installed a minimum of 25 mm below the top of the fascia, the acceptable overflow is 1.2 L/s constructed in accordance with Figure 7.4.7b.
- For a front face weir with—
 - a minimum clear width of 200 mm; and
 - a minimum clear height of 20 mm; and
 - the weir edge installed a minimum of 25 mm below the top of the fascia, the acceptable overflow capacity is 1.0 L/s constructed in accordance with Figure 7.4.7c.
- For a rainhead with—
 - a 75 mm diameter hole in the outward face of the rainhead; and
 - the centreline of the hole positioned 100 mm below the top of the fascia,

7.4.6 Acceptable continuous overflow measure

[2019: Table 3.5.3.4a]

- For a front face slotted gutter with—
 - a minimum slot opening area of 1200 mm² per metre of gutter; and
 - the lower edge of the slots installed a minimum of 25 mm below the top of the fascia, the acceptable overflow capacity must be 0.5 L/s/m, constructed in accordance with Figure 7.4.6a.
- For a controlled back gap with—
 - a permanent minimum 10 mm spacer installed between the gutter back and the fascia; and
 - one spacer per bracket, with the spacer not more than 50 mm wide; and
 - the back of the gutter installed a minimum of 10 mm below the top of the fascia, the acceptable overflow capacity must be 1.5 L/s/m, constructed in accordance with Figure 7.4.6b.
- For the controlled back gap option, the spacer can be a proprietary clip or bracket that provides the *required* offset of the gutter from the fascia.
- For controlled front bead height with the front bead of the gutter installed a minimum of 10 mm below the top of the fascia, the acceptable overflow capacity is 1.5 L/s/m constructed in accordance with Figure 7.4.6c.

Figure 7.4.6a: Construction of front face slotted gutter



7.4.6

Figure 7.4.6b: Construction of controlled back gap

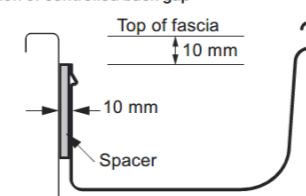


Figure 7.4.6c: Construction of controlled front bead height

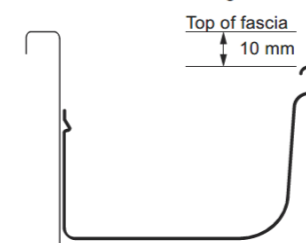
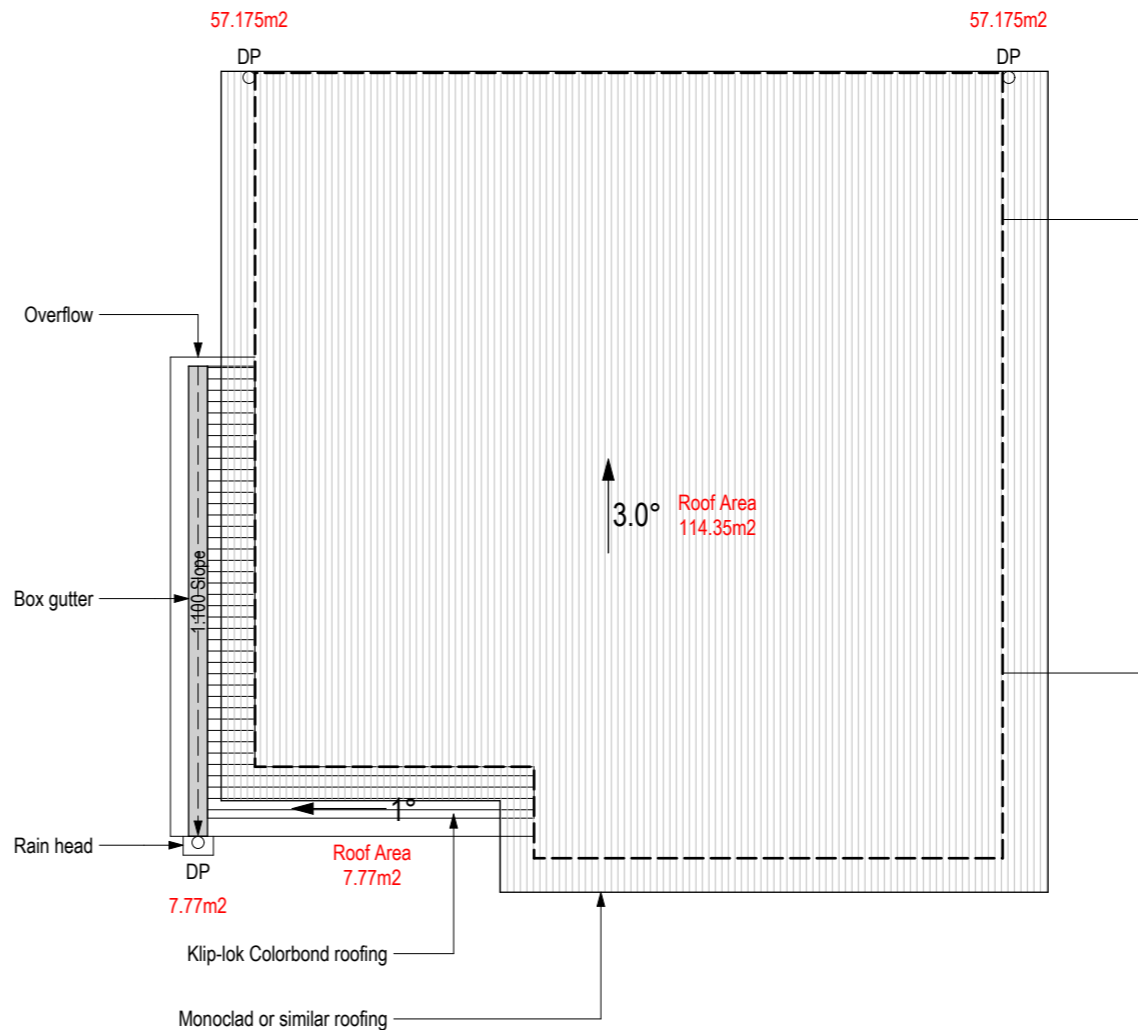


Figure Notes

Front bead of gutter to be a minimum of 10 mm below the top of the fascia.



ABN: 18 220 805 074
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Client
 Fenton Investment Trust

Job
 New Residential Units

Job address
 29 Fourth Avenue,
 West Moonah

Drawing
 Scale: A3 - 1:100
 DWG: 27 of 38
 Date: 24 March 2026
 Job No: 2025-38

Roof Plan - Unit 2



**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**

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Amendments

Date	By

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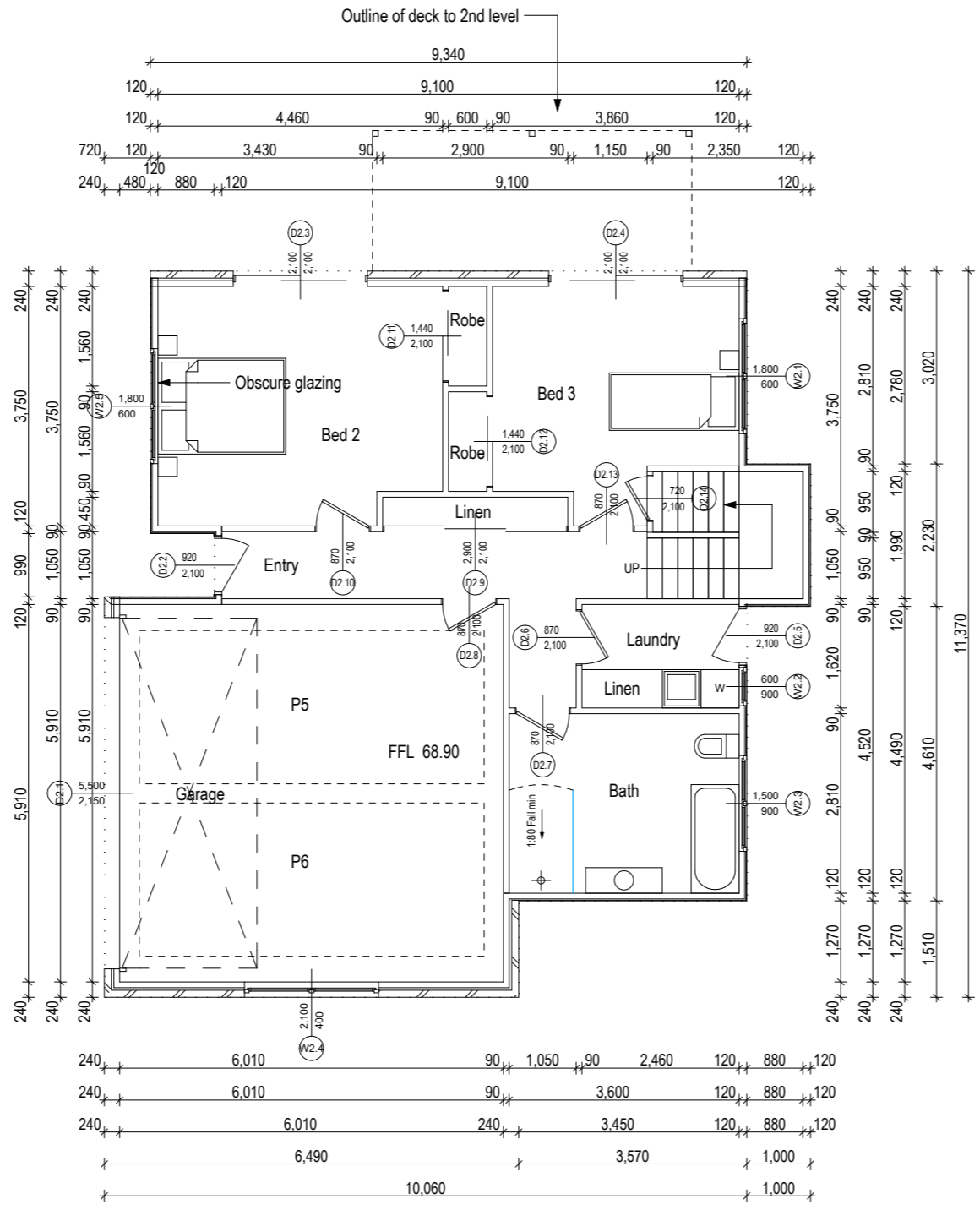
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New Residential Units
Job address
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Drawing
Scale: A3 - 1:100
DWG: 28 of 38
Date: 24 March 2026
Job No: 2025-38

Floor Plan - Unit 3 Level 1



Walls

- Existing Walls
- New Walls
- Walls to be removed

Windows

Width 1,210 Height 900
W05 Window number

Amendments	
Date	By

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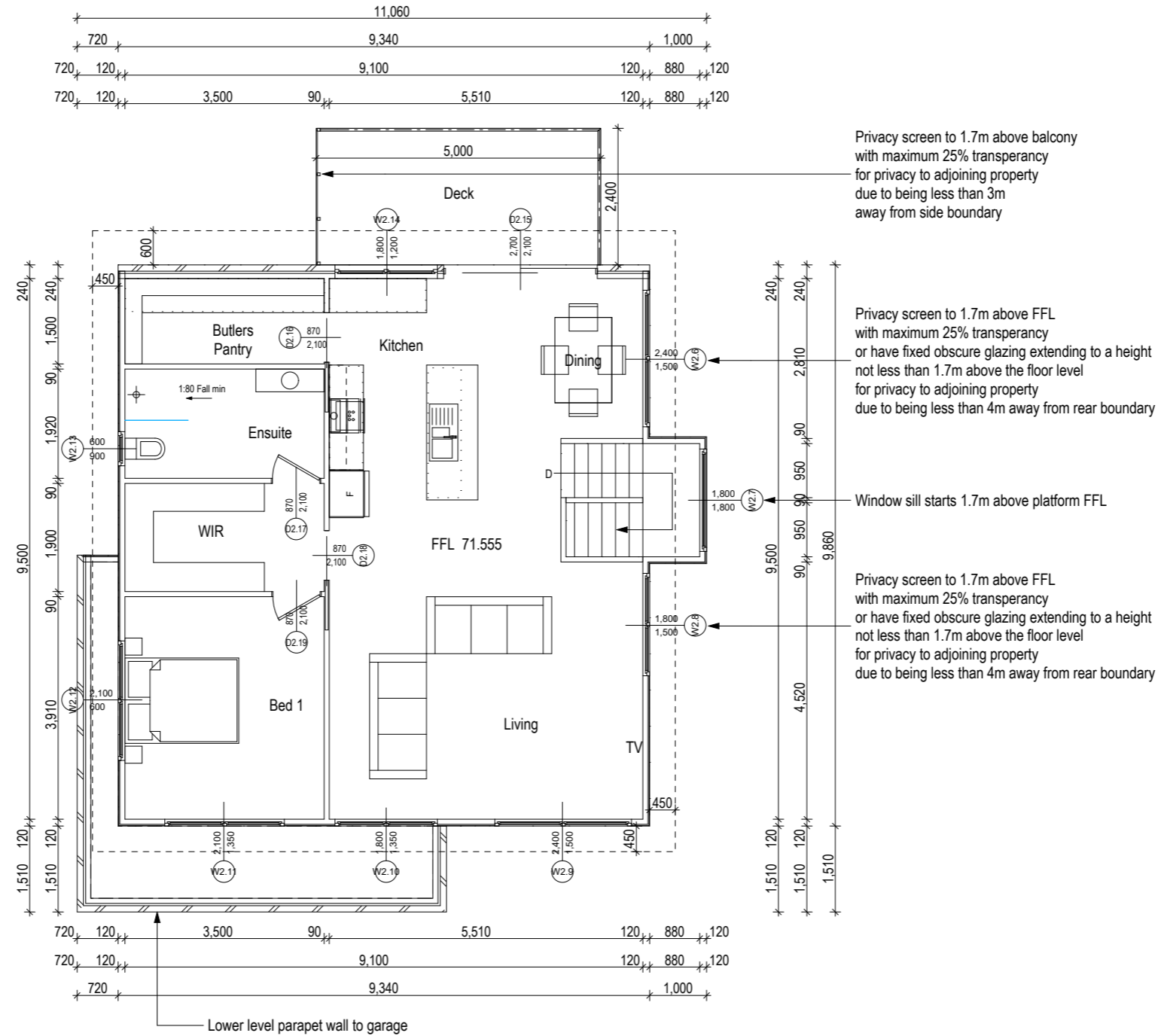
Client
Fenton Investment Trust

Job
New Residential Units

Job address
29 Fourth Avenue,
West Moonah

Drawing
Scale: A3 - 1:100
DWG: 29 of 38
Date: 24 March 2026
Job No: 2025-38

Floor Plan - Unit 3 Level 2



Walls

- Existing Walls
- New Walls
- Walls to be removed

Windows

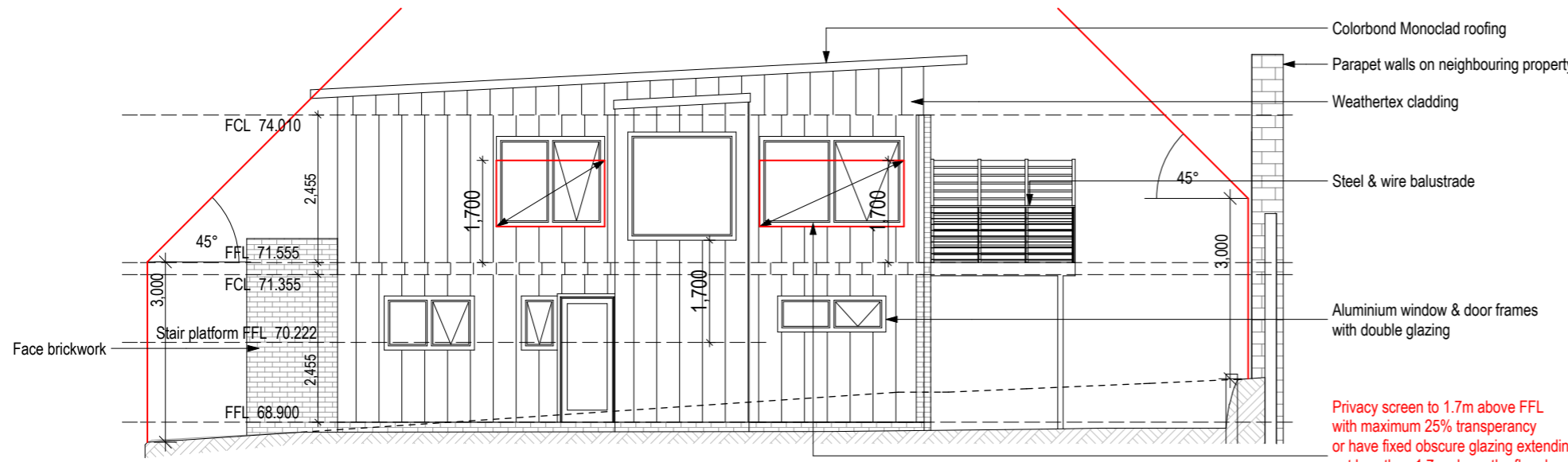
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W05 Window number

Amendments	
Date	By

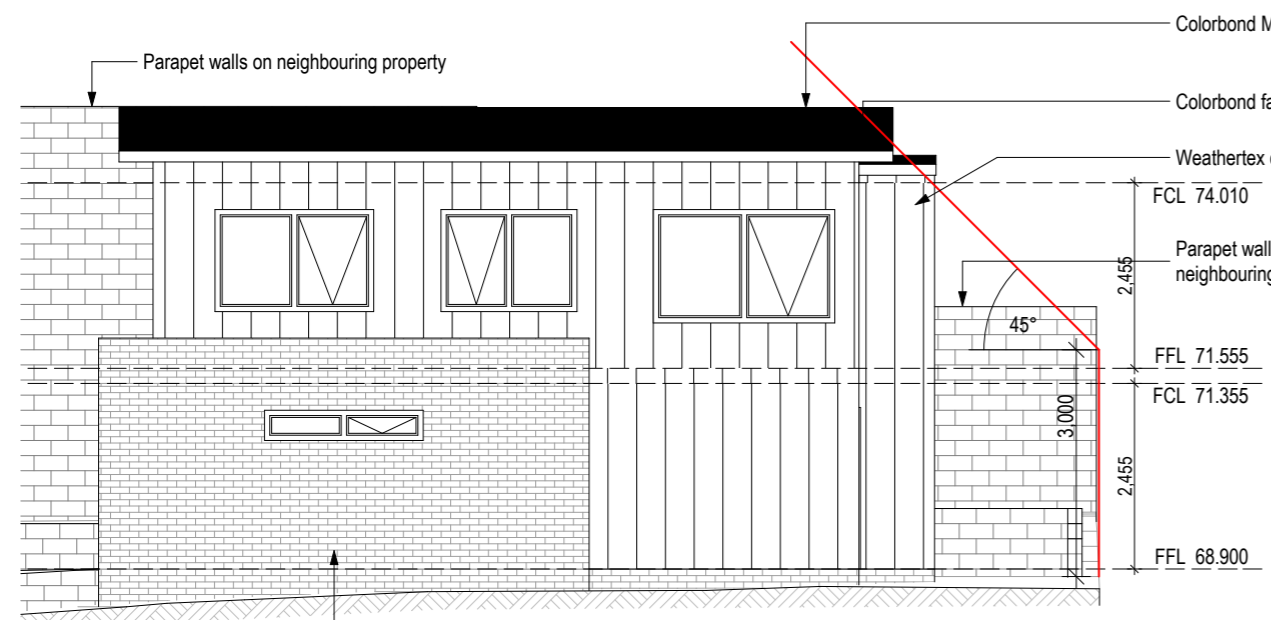
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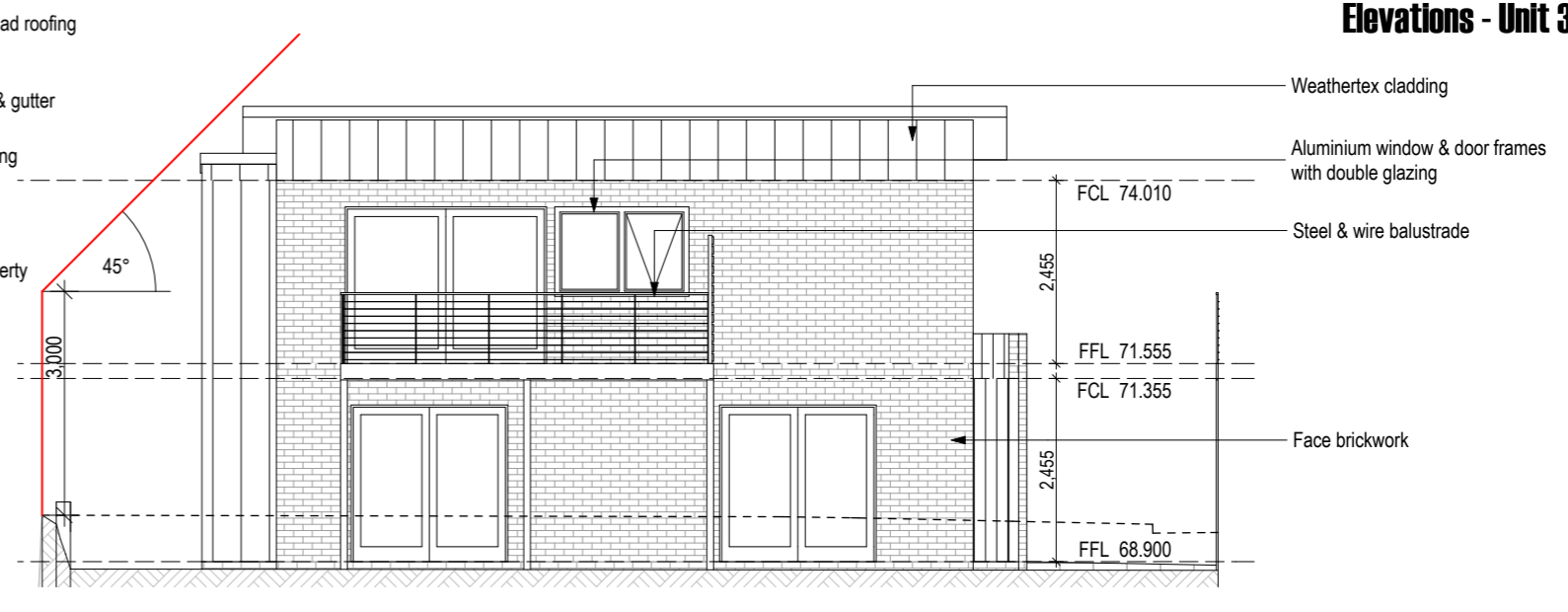


North

Privacy screen to 1.7m above FFL with maximum 25% transparency or have fixed obscure glazing extending to a height not less than 1.7m above the floor level for privacy to adjoining property due to being less than 4m away from rear boundary

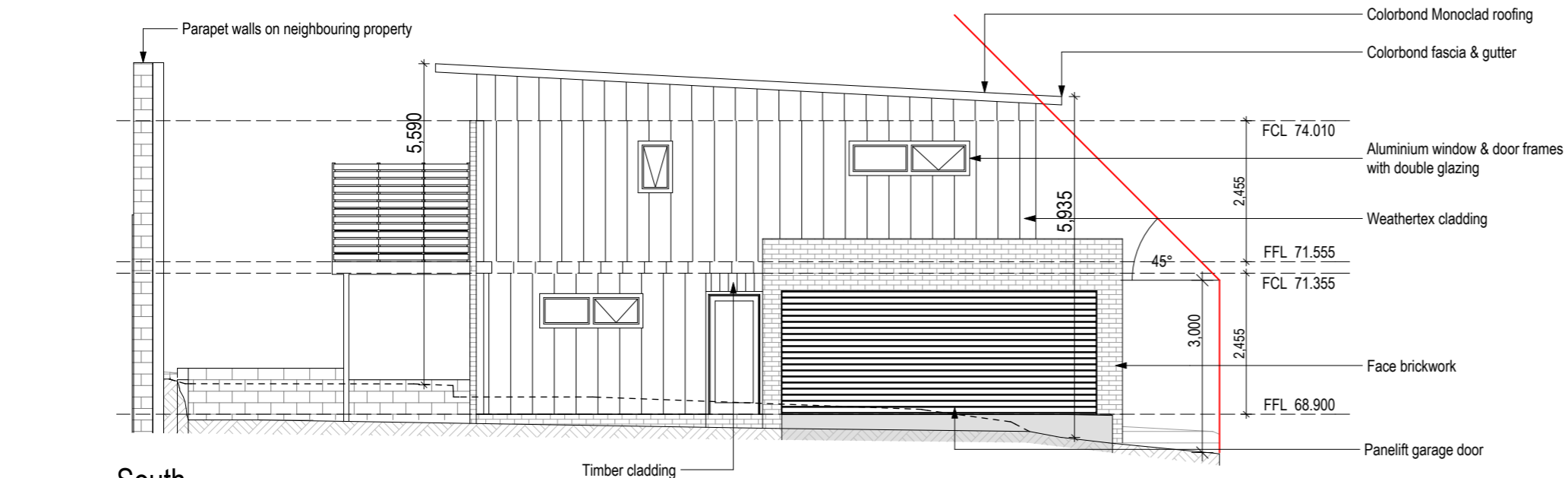


East



West

Elevations - Unit 3



South

NOTE:
Cladding - Weathertex
See Installation manual and Codemark Certificate

Material & Colour Schedule		
Element	Material	Colour
Wall cladding	Weathertex	CB Monument
	Fusion Smooth or Weathergroove Smooth 300	
Wall cladding 2	Vertical timber	Natural oil
Masonry - Face Brick	Island Block	Graphite
Downpipes	uPVC	CB Monument
Roof	Colorbond Monoclad	CB Ironstone
Barge flashings	Colorbond	CB Monument
Windows & Doors	Aluminium	Silver
Deck	Steel frame	CB Monument
Deck balustrade	Steel & Glass	CB Monument
Decking boards	Timber	Oil
Garage Door	Steel	Timber look

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand

Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Part 7.4 Gutters and downpipes

7.4.1 Application

[New for 2022]

Table 7.4.3a: Size of gutter required to drain roof catchment area into one (1) downpipe for various rainfall intensities and roof catchment areas (A, B, C, D, E and F defined in Table 7.4.3b)

Design rainfall intensity (mm/h) (as per Table 7.4.3d)	Roof catchment area per downpipe — 30 m ²	Roof catchment area per downpipe — 40 m ²	Roof catchment area per downpipe — 50 m ²	Roof catchment area per downpipe — 60 m ²	Roof catchment area per downpipe — 70 m ²
120 mm/h	A or C	A or C	A or C	A or C	A or D
140 mm/h	A or C	A or C	A or C	A or D	B or E

Table 7.4.3b: Gutter sizes for various rainfall intensities

Gutter type	Gutter description	Minimum cross-sectional area (mm ²)
A	Medium rectangular gutter	6500
B	Large rectangular gutter	7900
C	115 mm D gutter	5200

Table 7.4.3c: Downpipe selection for gutter types (A, B, C, D, E and F defined in Table 7.4.3b)

Downpipe section	Gutter type A	Gutter type B	Gutter type C	Gutter type D	Gutter type E
75 mm dia.	Yes	Yes	Yes	Yes	No
100 mm x 50 mm	Yes	Yes	Yes	Yes	Yes

Table 7.4.3d: 5 minute duration rainfall intensities

State	Locality	Annual exceedance probability, 5% (mm/h)	Annual exceedance probability, 1% (mm/h)
TAS	Hobart	86	120

Table 7.4.4a: Overflow volume for continuous measure (L/s/m)

Design 5 minute duration rainfall intensity (mm/h) (from Table 7.4.3d)	Ridge to gutter length — 2 m	Ridge to gutter length — 4 m	Ridge to gutter length — 6 m	Ridge to gutter length — 8 m	Ridge to gutter length — 10 m	Ridge to gutter length — 12 m	Ridge to gutter length — 14 m	Ridge to gutter length — 16 m
150 mm/h	0.08 L/s/m	0.17 L/s/m	0.25 L/s/m	0.33 L/s/m	0.42 L/s/m	0.50 L/s/m	0.58 L/s/m	0.67 L/s/m
175 mm/h	0.10 L/s/m	0.19 L/s/m	0.29 L/s/m	0.39 L/s/m	0.49 L/s/m	0.58 L/s/m	0.68 L/s/m	0.78 L/s/m
200 mm/h	0.11 L/s/m	0.22 L/s/m	0.33 L/s/m	0.44 L/s/m	0.56 L/s/m	0.67 L/s/m	0.78 L/s/m	0.89 L/s/m
225 mm/h	0.13 L/s/m	0.25 L/s/m	0.38 L/s/m	0.50 L/s/m	0.63 L/s/m	0.75 L/s/m	0.88 L/s/m	1.0 L/s/m
250 mm/h	0.14 L/s/m	0.28 L/s/m	0.42 L/s/m	0.56 L/s/m	0.69 L/s/m	0.83 L/s/m	0.97 L/s/m	1.1 L/s/m

7.4.7 Acceptable dedicated overflow measure per downpipe

[2019: Table 3.5.3.4b]

- For an end-stop weir with—
 - a minimum clear width of 100 mm; and
 - the weir edge installed a minimum 25 mm below the top of the fascia, the acceptable overflow is 0.5 L/s constructed in accordance with Figure 7.4.7a.
- An end-stop weir is not suitable where the end-stop abuts a wall.
- For an inverted nozzle installed within 500 mm of a gutter high point with—
 - a minimum nozzle size of 100 mm x 50 mm positioned lengthways in the gutter; and
 - the top of the nozzle installed a minimum of 25 mm below the top of the fascia, the acceptable overflow is 1.2 L/s constructed in accordance with Figure 7.4.7b.
- For a front face weir with—
 - a minimum clear width of 200 mm; and
 - a minimum clear height of 20 mm; and
 - the weir edge installed a minimum of 25 mm below the top of the fascia, the acceptable overflow capacity is 1.0 L/s constructed in accordance with Figure 7.4.7c.
- For a rainhead with—
 - a 75 mm diameter hole in the outward face of the rainhead; and
 - the centreline of the hole positioned 100 mm below the top of the fascia,

7.4.6 Acceptable continuous overflow measure

[2019: Table 3.5.3.4a]

- For a front face slotted gutter with—
 - a minimum slot opening area of 1200 mm² per metre of gutter; and
 - the lower edge of the slots installed a minimum of 25 mm below the top of the fascia, the acceptable overflow capacity must be 0.5 L/s/m, constructed in accordance with Figure 7.4.6a.
- For a controlled back gap with—
 - a permanent minimum 10 mm spacer installed between the gutter back and the fascia; and
 - one spacer per bracket, with the spacer not more than 50 mm wide; and
 - the back of the gutter installed a minimum of 10 mm below the top of the fascia, the acceptable overflow capacity must be 1.5 L/s/m, constructed in accordance with Figure 7.4.6b.
- For the controlled back gap option, the spacer can be a proprietary clip or bracket that provides the required offset of the gutter from the fascia.
- For controlled front bead height with the front bead of the gutter installed a minimum of 10 mm below the top of the fascia, the acceptable overflow capacity is 1.5 L/s/m constructed in accordance with Figure 7.4.6c.

Figure 7.4.6a: Construction of front face slotted gutter

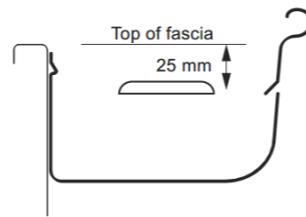


Figure 7.4.6b: Construction of controlled back gap

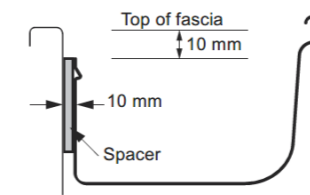


Figure 7.4.6c: Construction of controlled front bead height

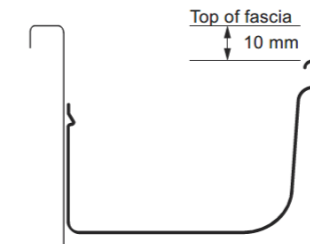


Figure Notes

Front bead of gutter to be a minimum of 10 mm below the top of the fascia.



ABN: 18 220 805 074
 Compliance No: CC 1159 Q
 m: 0409 432 670
 e: clint.draftone@bigpond.com

Client
 Fenton Investment Trust

Job
 New Residential Units

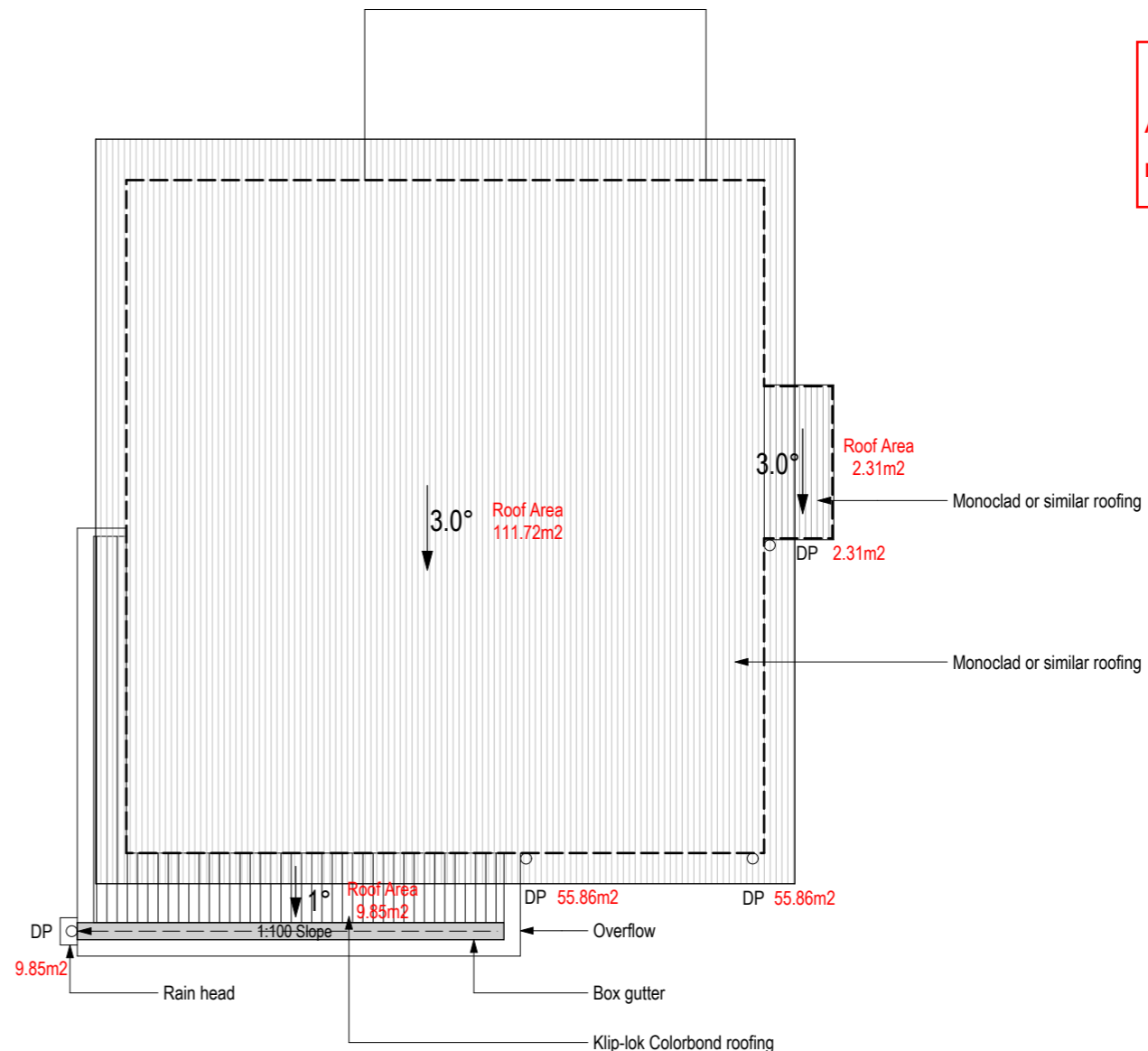
Job address
 29 Fourth Avenue,
 West Moonah

Drawing
 Scale: A3 - 1:100
 DWG: 31 of 38
 Date: 24 March 2026
 Job No: 2025-38

Roof Plan - Unit 3



**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
 APPLICATION No. : PLN-26-021
 DATE RECEIVED: 24/03/2026



Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.