

## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-26-067
<b>PROPOSED DEVELOPMENT:</b>	Single Dwelling
<b>LOCATION:</b>	54 Kiewa Rise, Lenah Valley
<b>APPLICANT:</b>	Cunic Homes
<b>ADVERTISING START DATE:</b>	24/04/2026
<b>ADVERTISING EXPIRY DATE:</b>	08/05/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **08/05/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **08/05/2026**, or for postal and hand delivered representations, by 5.00 pm on **08/05/2026**.

# PROPOSED NEW RESIDENCE

## 54 KIEWA RISE

## LENAH VALLEY

### H.T. KAO & W.T. LIU

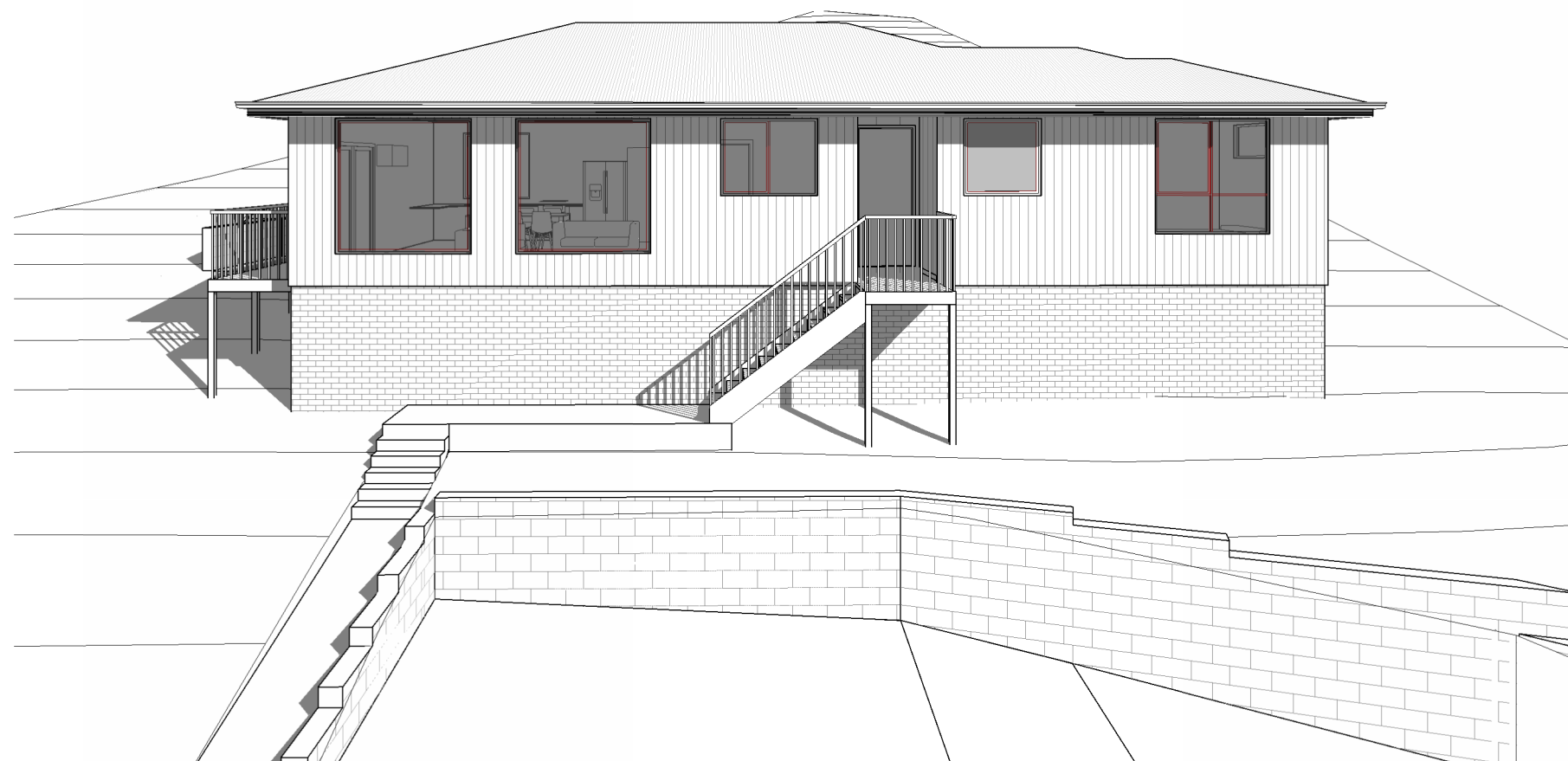
GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No. PLN-26-067  
DATE RECEIVED 24.03.2026

H913

PD25369

#### BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	CUT/FILL PLAN
04	LOCALITY PLAN
05	FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN
10	FLOOR FINISHES PLAN
11	ELECTRICAL/REFLECTED CEILING PLAN
12	RETAINING WALL ELEVATION & SECTION



FLOOR AREA 114.18 m2 ( 12.29 SQUARES )

#### GENERAL PROJECT INFORMATION

TITLE REFERENCE: 126/187764  
SITE AREA: 957 m<sup>2</sup>  
DESIGN WIND SPEED: TBC  
SOIL CLASSIFICATION: TBC  
CLIMATE ZONE: 7  
ALPINE AREA: NO  
CORROSIVE ENVIRONMENT: N/A  
BAL RATING: LOW  
OTHER KNOWN HAZARDS: PRIORITY VEGETATION AREA,  
BUSHFIRE-PRONE AREAS



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info@primedesigntas.com.au  
Accredited Building Practitioner: Frank Geskus -No CC246A



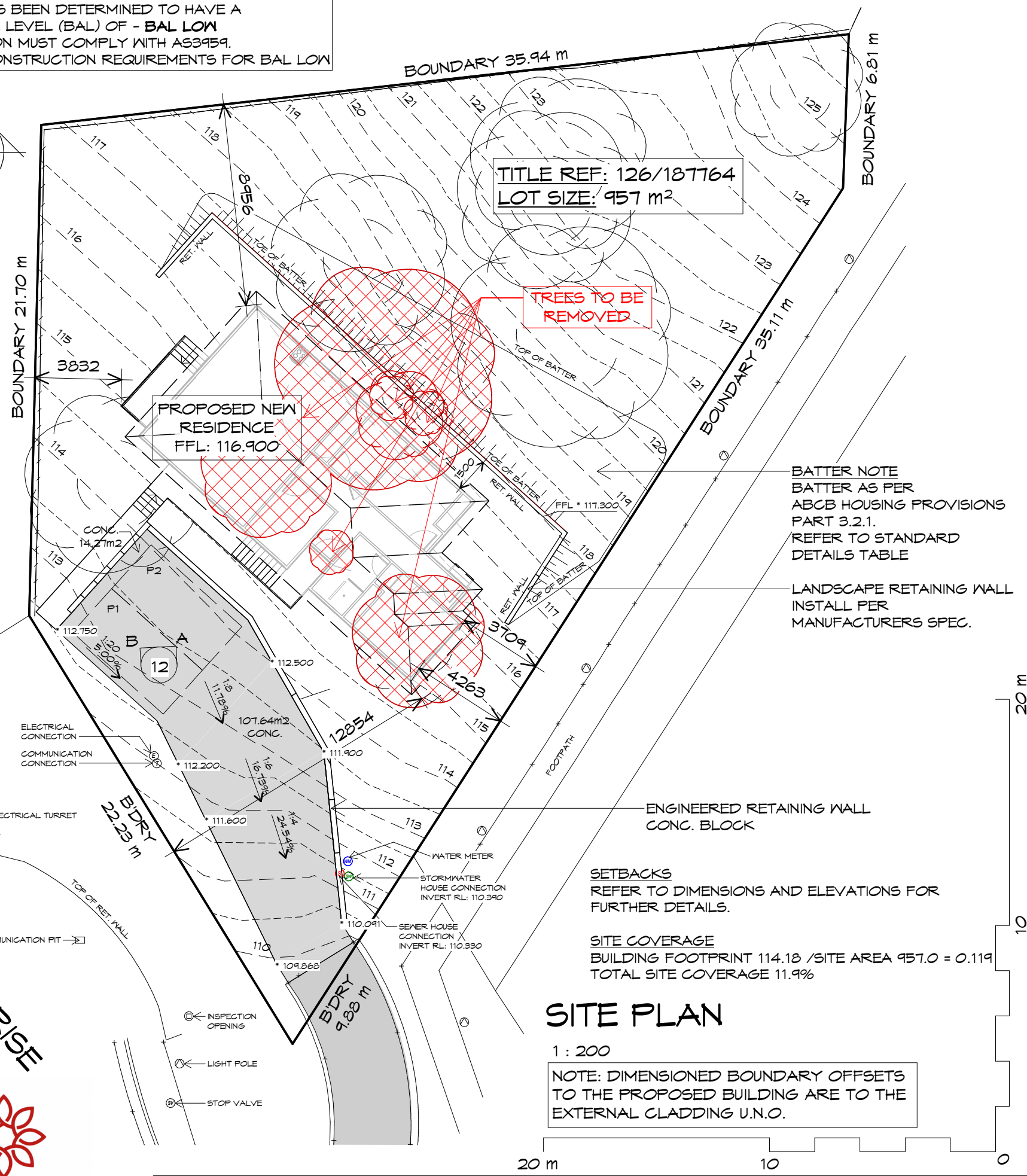
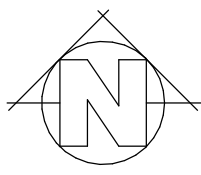
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REV. DATE DESCRIPTION

MARCH 2026

PLANNING

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - BAL LOW  
 ALL CONSTRUCTION MUST COMPLY WITH AS3959.  
 THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW



TITLE REF: 126/187764  
 LOT SIZE: 957 m<sup>2</sup>

TREES TO BE REMOVED

PROPOSED NEW RESIDENCE  
 FFL: 116.900

BATTER NOTE  
 BATTER AS PER ABCB HOUSING PROVISIONS PART 3.2.1.  
 REFER TO STANDARD DETAILS TABLE

LANDSCAPE RETAINING WALL  
 INSTALL PER MANUFACTURERS SPEC.

ENGINEERED RETAINING WALL  
 CONC. BLOCK

SETBACKS  
 REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

SITE COVERAGE  
 BUILDING FOOTPRINT 114.18 / SITE AREA 957.0 = 0.119  
 TOTAL SITE COVERAGE 11.9%

**SITE PLAN**

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

**GENERAL NOTES**

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

**SURVEYORS NOTES**

- THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
- THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.
- DUE TO THE NATURE OF THE TITLE BOUNDARY INFORMATION, IF ANY STRUCTURES ARE DESIGNED ON OR NEAR A BOUNDARY WE WOULD RECOMMEND A RE-MARK SURVEY BE COMPLETED AND LODGED WITH THE LAND TITLES OFFICE TO SUPPORT THE BOUNDARY DEFINITION.
- SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.
- THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.
- CONTOUR INTERVALS: 0.500m
- HORIZONTAL DATUM: GDA2020
- BEARING DATUM: MGA2020 per ST90TasTV
- VERTICAL DATUM: AHD83 per AusCORS

**GLENORCHY CITY COUNCIL  
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DRIVENWAY GRADIENT  
 MAXIMUM GRADIENT 1:4 (25%)  
 TO AS 2890

CAR PARKING GRADIENT  
 PARALLEL TO PARKING ANGLE 1:20 (5%)  
 CROSSFALL 1:16 (6.25%)



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REV.	DATE	DESCRIPTION

Client name:  
 H.T. KAO & W.T. LIU

Project:  
 PROPOSED NEW RESIDENCE  
 54 KIEWA RISE  
 LENA VALLEY

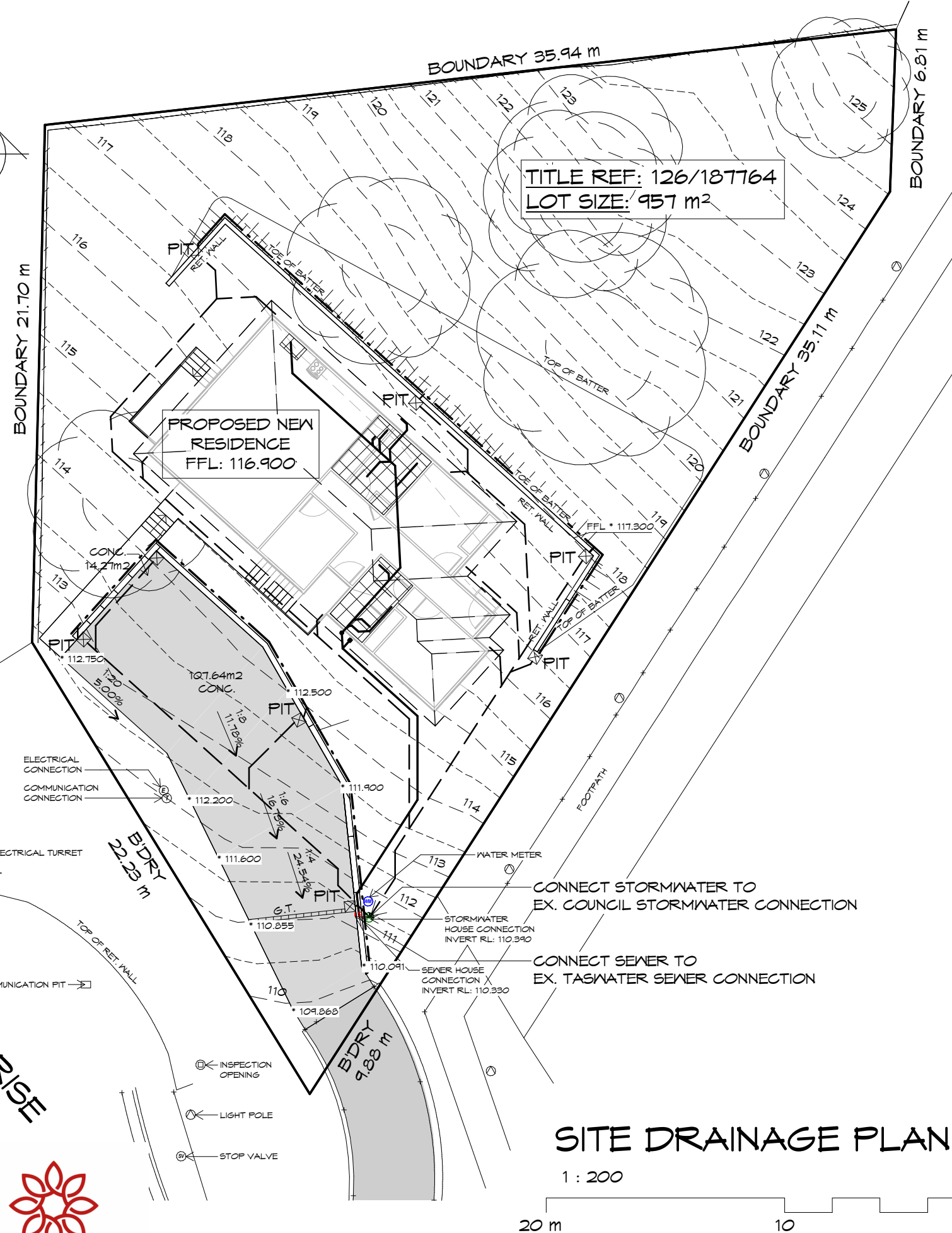
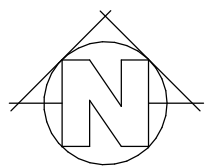
Date: 20.03.2026  
 Drafted by: T.W.  
 Approved by: Approver

Project/Drawing no: PD25369 - 01  
 Scale: 1 : 200  
 Revision: 06

**PLANNING**  
 NOTE: DO NOT SCALE OFF DRAWINGS

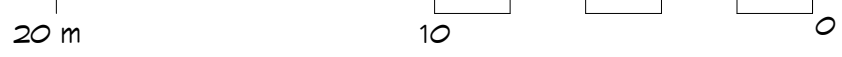
Drawing:  
 SITE PLAN

Accredited building practitioner: Frank Geskus - No CC246A  
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**SITE DRAINAGE PLAN**

1 : 200



**LEGEND**

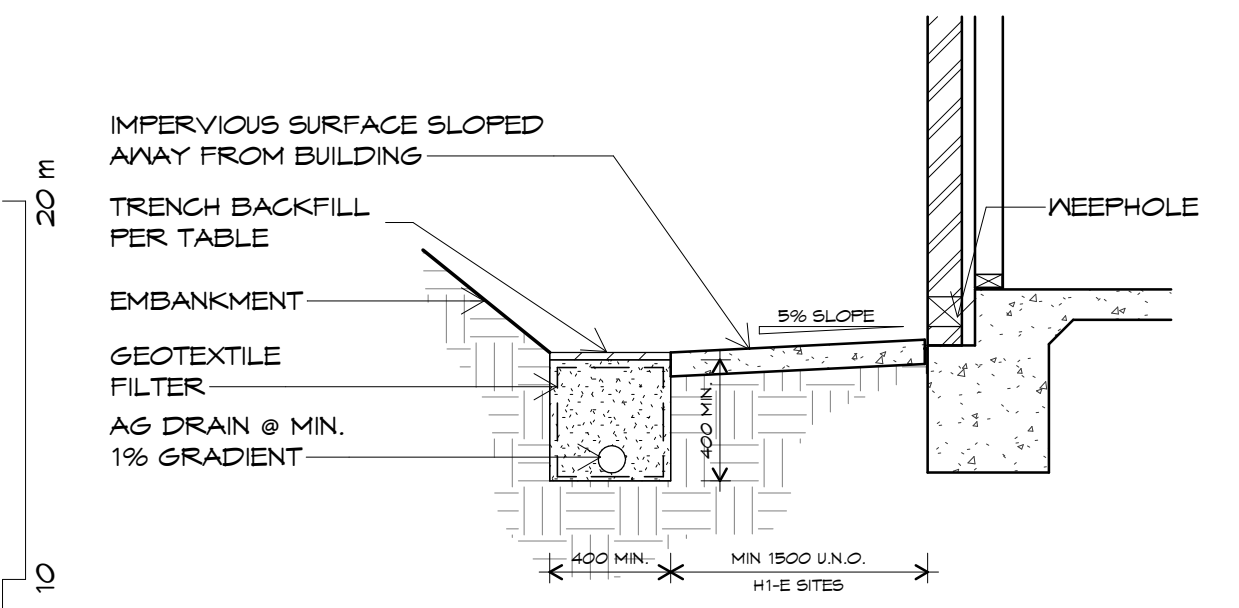
- 450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- SEWER LINE
- STORMWATER LINE
- 100φ AG DRAIN
- 150 WIDE GRATED TRENCH

**GLENORCHY CITY COUNCIL  
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**PLUMBING NOTES:**  
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.  
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

TRENCH BACKFILL PER SITE CLASS TO COMPLY WITH AS2870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY



**TYPICAL AG DRAIN DETAIL**

N.T.S.



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REV.	DATE	DESCRIPTION

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H.T. KAO & W.T. LIU

Project:  
PROPOSED NEW RESIDENCE  
54 KIEWA RISE  
LENAH VALLEY

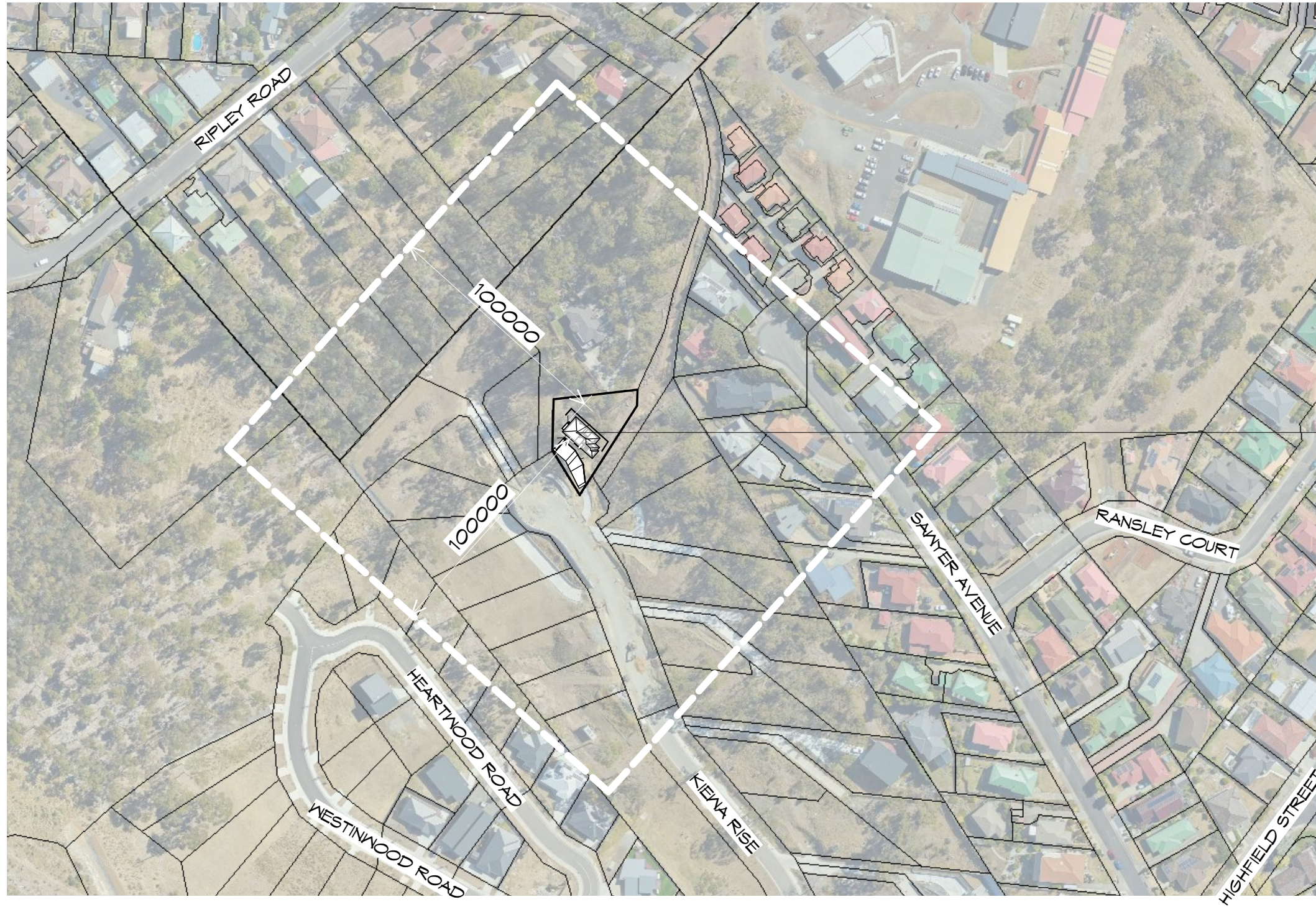
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Approved by: Approver

Project/Drawing no: PD25369 - 02  
Scale: As indicated  
Revision: 06

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Drawing:  
SITE DRAINAGE PLAN

Accredited building practitioner: Frank Geskus - No CC246A  
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PROPOSED NEW RESIDENCE  
 54 KIEWA RISE,  
 LENA VALLEY

## LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED LOW DENSITY RESIDENTIAL AND REQUIRES A BUSHFIRE ASSESSMENT.  
 RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT BY DAVID LYNE FOR MANAGMENT PLAN

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Project:  
 PROPOSED NEW RESIDENCE  
 54 KIEWA RISE  
 LENA VALLEY

Drawing:  
 LOCALITY PLAN

REV.	DATE	DESCRIPTION
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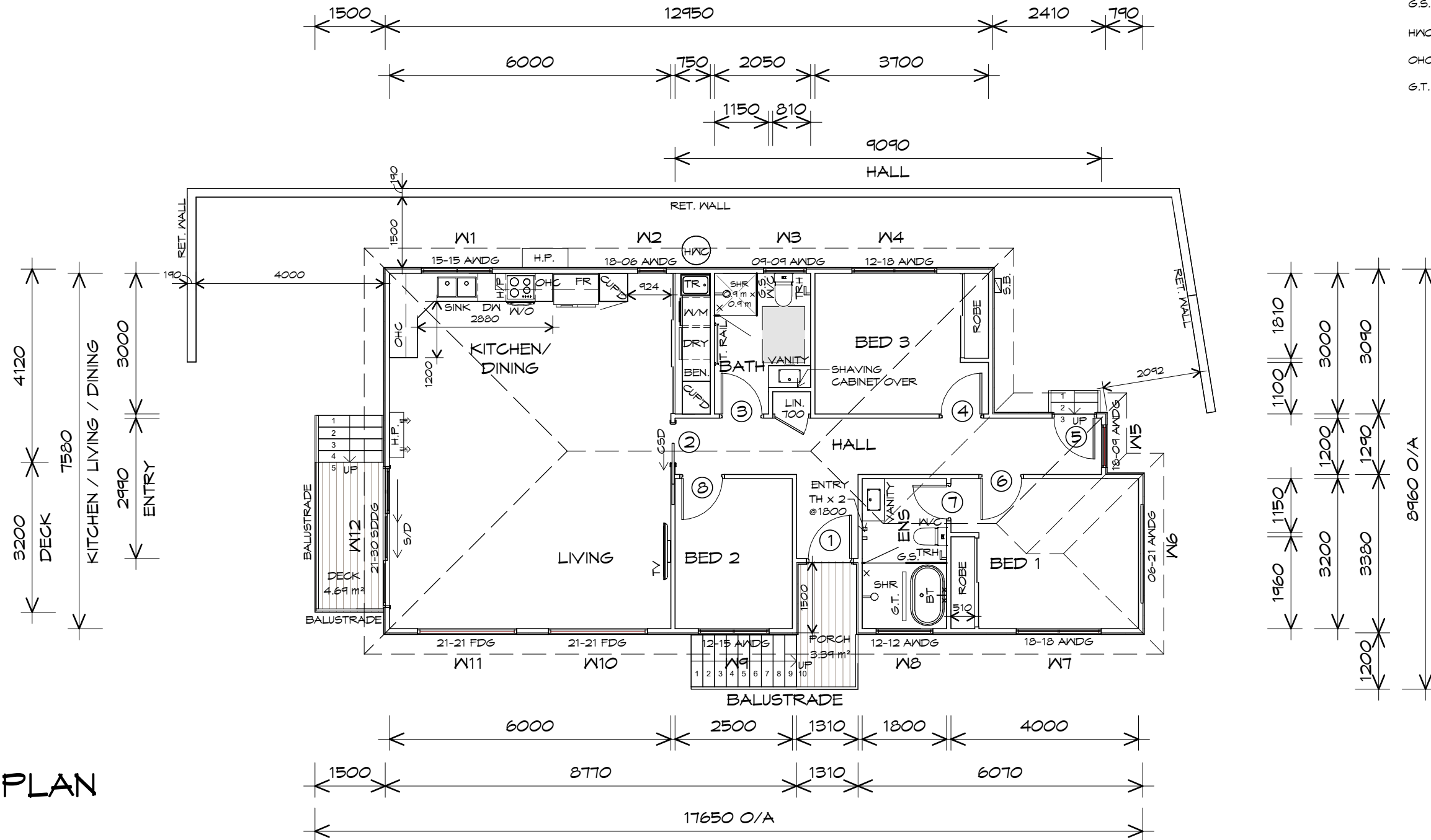
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**LEGEND**

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- OHC OVERHEAD CUPBOARDS
- G.T. GRATED TRENCH



**FLOOR PLAN**

1 : 100  
 FLOOR AREA 114.18 m2 ( 12.29 SQUARES )

**NOTE:**  
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



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REV.	DATE	DESCRIPTION
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Project/Drawing no: PD25369 - 05  
 Scale: 1 : 100  
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**PLANNING**

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Drawing:  
 FLOOR PLAN

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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	870	CAVITY SLIDING DOOR	
3	870	INTERNAL TIMBER DOOR	
4	870	INTERNAL TIMBER DOOR	
5	870	EXTERNAL SOLID DOOR	
6	870	INTERNAL TIMBER DOOR	
7	720	INTERNAL TIMBER DOOR	
8	870	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1500	1510	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	900	910	AWNING WINDOW	OPAQUE
W4	1200	1810	AWNING WINDOW	
W5	1800	910	AWNING WINDOW	
W6	600	2110	AWNING WINDOW	
W7	1800	1810	AWNING WINDOW	
W8	1200	1210	AWNING WINDOW	OPAQUE
W9	1200	1510	AWNING WINDOW	
W10	2100	2110	FIXED WINDOW	
W11	2100	2110	FIXED WINDOW	
W12	2100	3010	STACKING SLIDING DOOR	

ALUMINIUM WINDOWS **DOUBLE GLAZING COMPLETE**  
WITH FLY SCREENS TO SUIT **BAL LOW RATING**.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING



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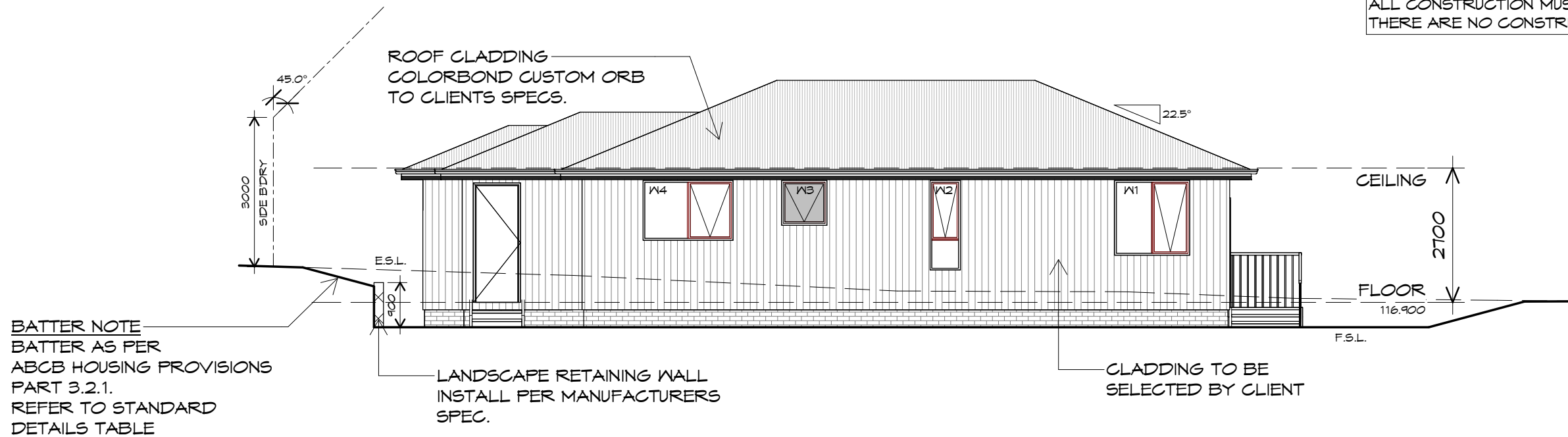
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Drawing:  
DOOR AND WINDOW SCHEDULES

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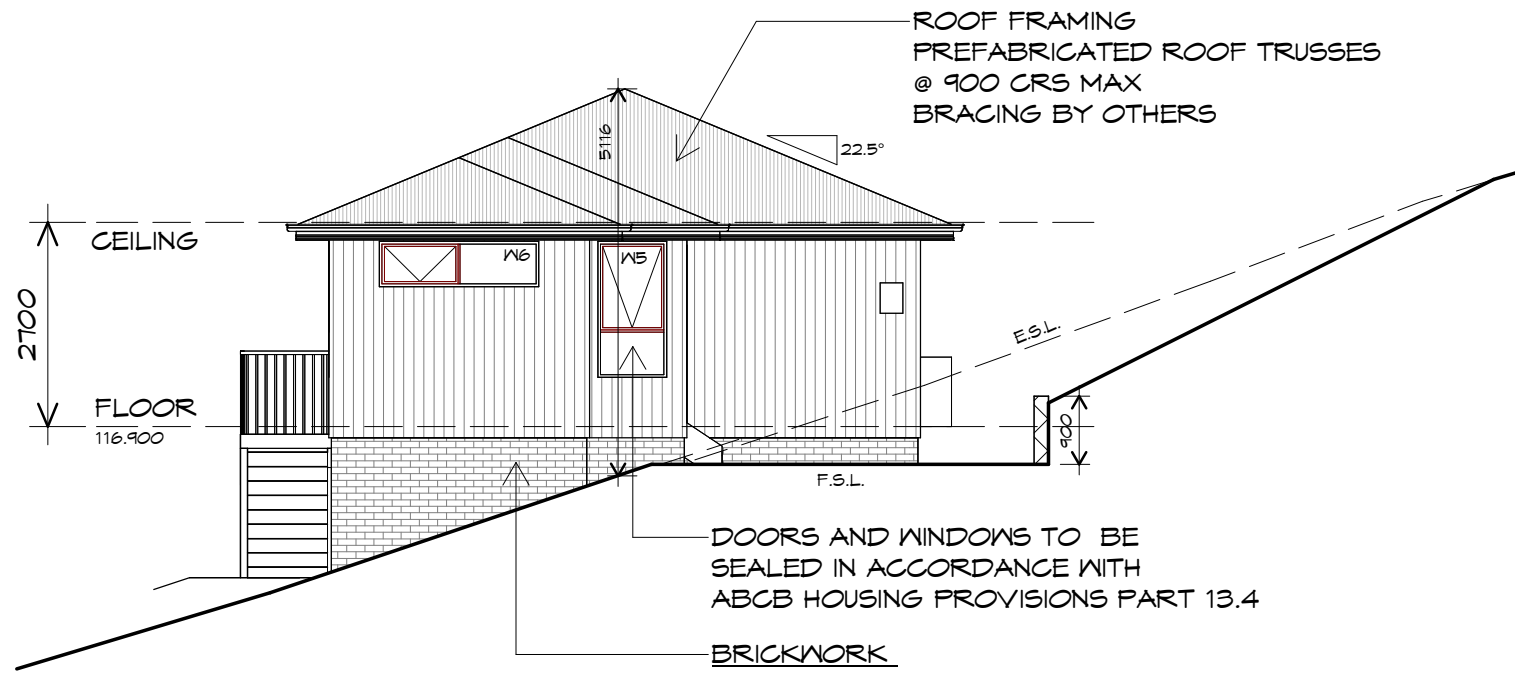
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## NORTH EASTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100



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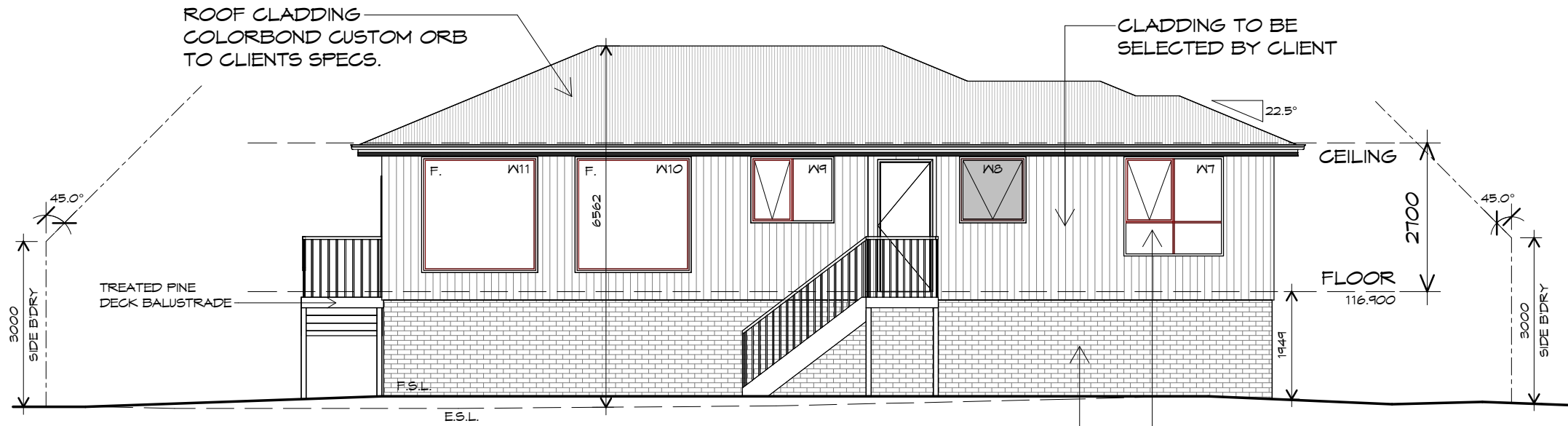
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**PLANNING**

Drawing:  
 ELEVATIONS

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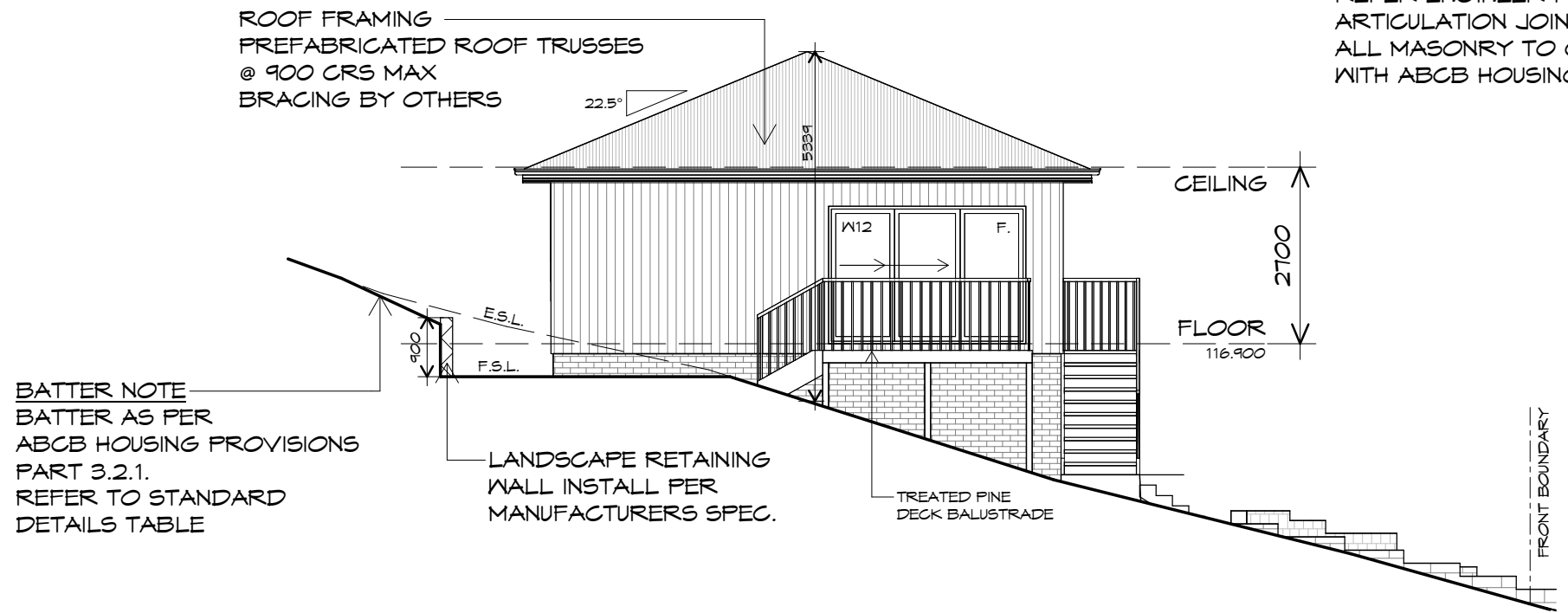
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### SOUTH WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4  
 BRICKWORK  
 SELECTED FIRED CLAY FACE BRICKS.  
 RAKED JOINTS, STRETCHER BOND  
 REFER ENGINEER FOR ARTICULATION JOINTS  
 ALL MASONRY TO COMPLY WITH ABCB HOUSING PROVISIONS PART 5



### NORTH WESTERN ELEVATION

1 : 100

BATTER NOTE  
 BATTER AS PER ABCB HOUSING PROVISIONS PART 3.2.1. REFER TO STANDARD DETAILS TABLE



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 ELEVATIONS

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ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

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ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:500 FOR EAVES GUTTER  
BOX GUTTERS IN ACCORDANCE WITH  
AS33500.3:2021

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

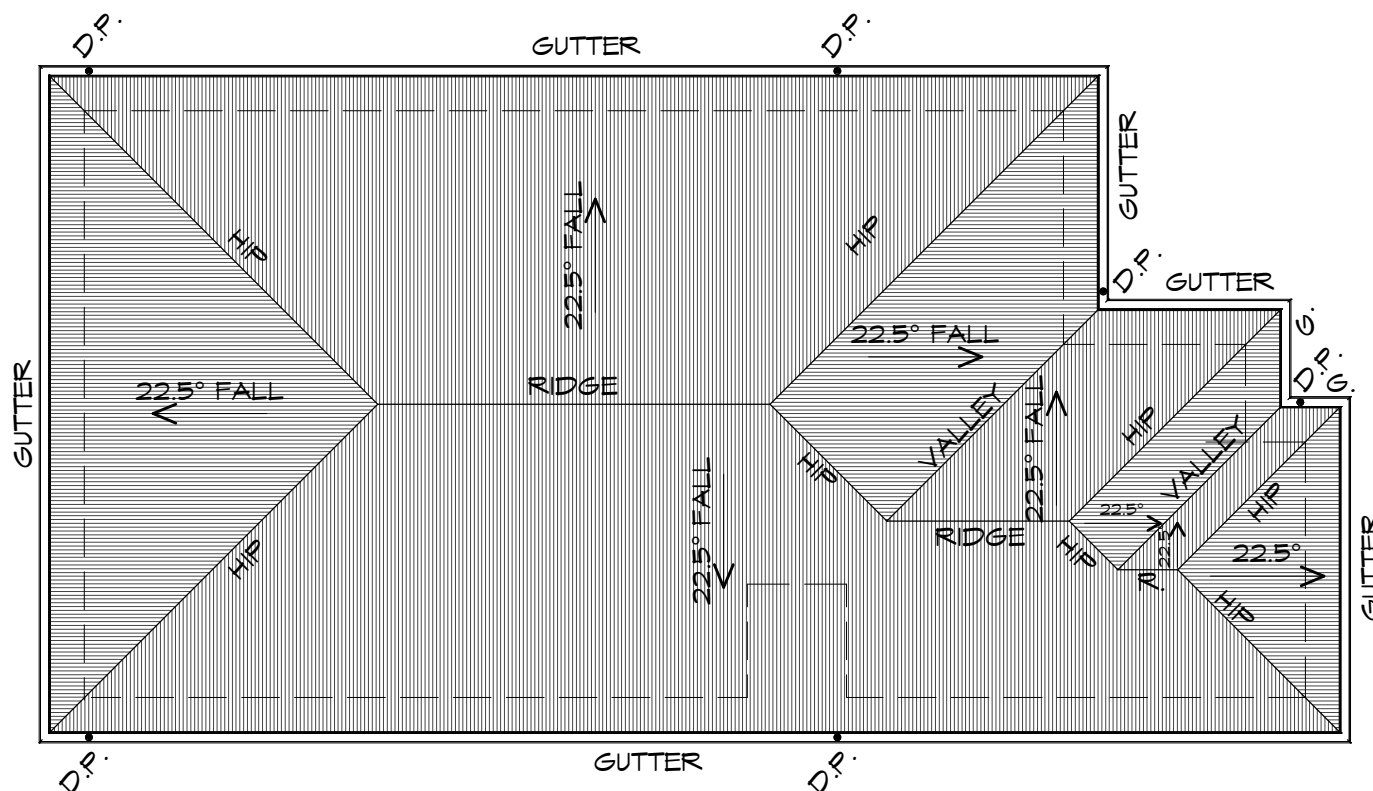
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS  
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



**ROOF PLAN**

1 : 100



REV.	DATE	DESCRIPTION

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**PLANNING**  
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54 KIEWA RISE  
LENAH VALLEY

Drawing:  
ROOF PLAN



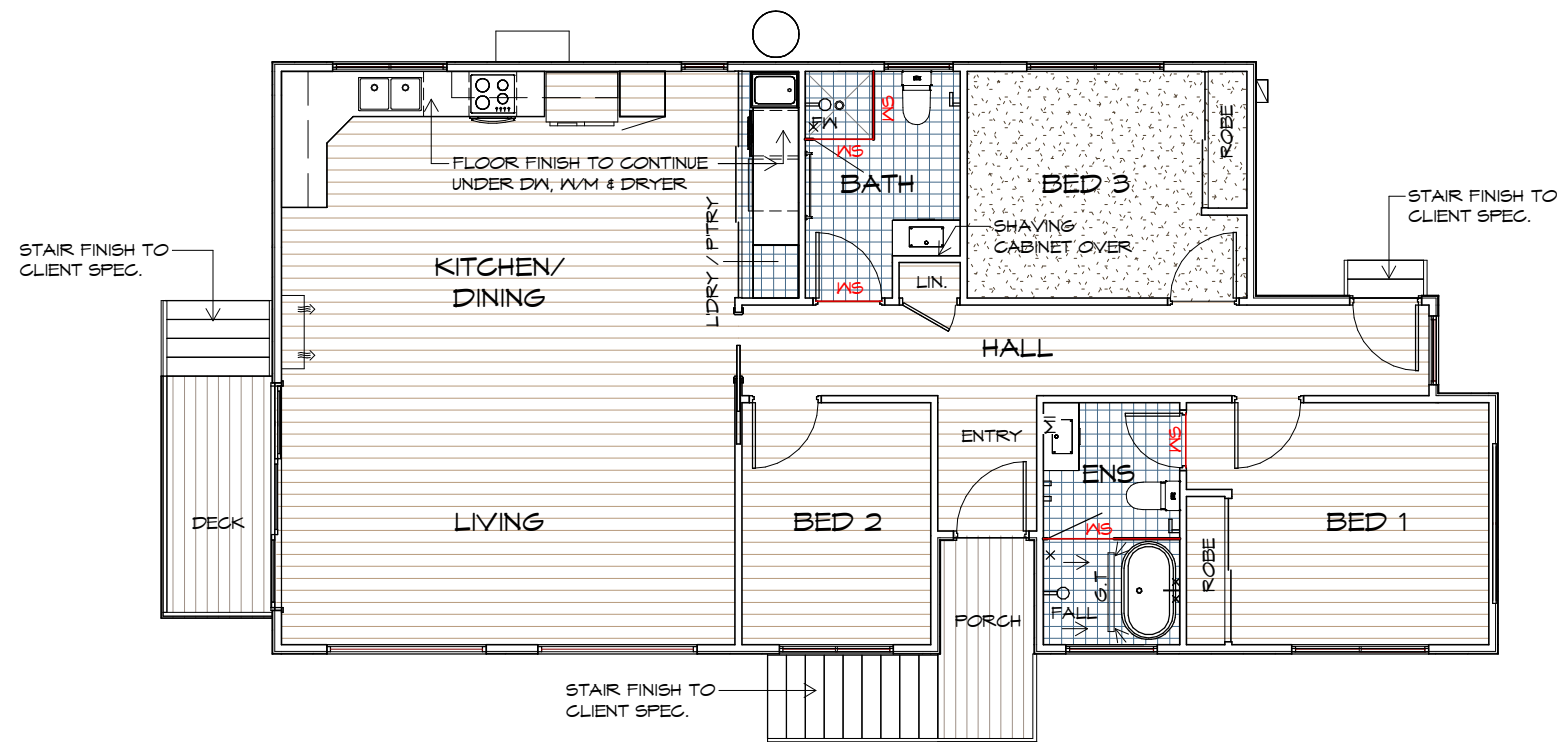
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Date: 20.03.2026	Drafted by: T.W.	Approved by: Approver
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**LEGEND**

- CARPET
- HYBRID FLOORING
- TILES
- TIMBER DECKING
- WATERSTOP
- GRATED TRENCH
- FLOOR WASTE
- SEMI RECESSED SHAVING CABINET

**FLOOR FINISHES PLAN**

1 : 100

**IMPORTANT:**

PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS. ENERGY ASSESSMENT IS BASED ON FLOOR TYPES AS NOTED IN THE REPORT.

IF AN ALTERNATIVE FLOORING IS CHOSEN OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

REFER TO ELECTRICAL PLAN AND REFLECTED CEILING PLAN FOR CEILING PENETRATIONS.

**FLOOR WASTE**

- WHERE A FLOOR WASTE IS INSTALLED—
- THE MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80; AND
  - THE MAXIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:50. TO COMPLY ABCB HOUSING PROVISIONS PART 10.2.12

NOTE: ALL WATERPROOFING WORK MUST COMPLY WITH THE REQUIREMENTS OF THE ABCB HOUSING PROVISIONS PART 10.2.1-10.2.32 IN FULL AND MUST BE CARRIED OUT BY A LICENSED TRADESPERSON ONLY.



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Client name:  
H.T. KAO & W.T. LIU

Project:  
PROPOSED NEW RESIDENCE  
54 KIEWA RISE  
LENAH VALLEY

Date: 20.03.2026  
Drafted by: Author  
Approved by: Approver

REV. DATE DESCRIPTION

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS




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FLOOR FINISHES PLAN

Project/Drawing no: PD25369 - 10  
Scale: 1 : 100  
Revision: 06




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# ELECTRICAL INDEX


## LIGHTING

-  FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE\*
-  L.E.D. - SEALED DOWN LIGHT \*
-  SECURITY LIGHT
- \*INSTALL AS PER MANUFACTURERS SPECIFICATION




## SWITCH TYPE

-  ONE-WAY SWITCH
-  TWO-WAY SWITCH
-  MOTION SENSOR

## CEILING

-  DENOTES CEILING HEIGHT
- B.H. BULK HEAD
- O/H ROOF OVERHANG/EAVES

## WALL OUTLETS

-  GENERAL PURPOSE OUTLET (DOUBLE)
-  WEATHER PROOF OUTLET
-  HOTPLATE SAFETY CUT-OFF

 T.V. OUTLET





NBN Wi-Fi

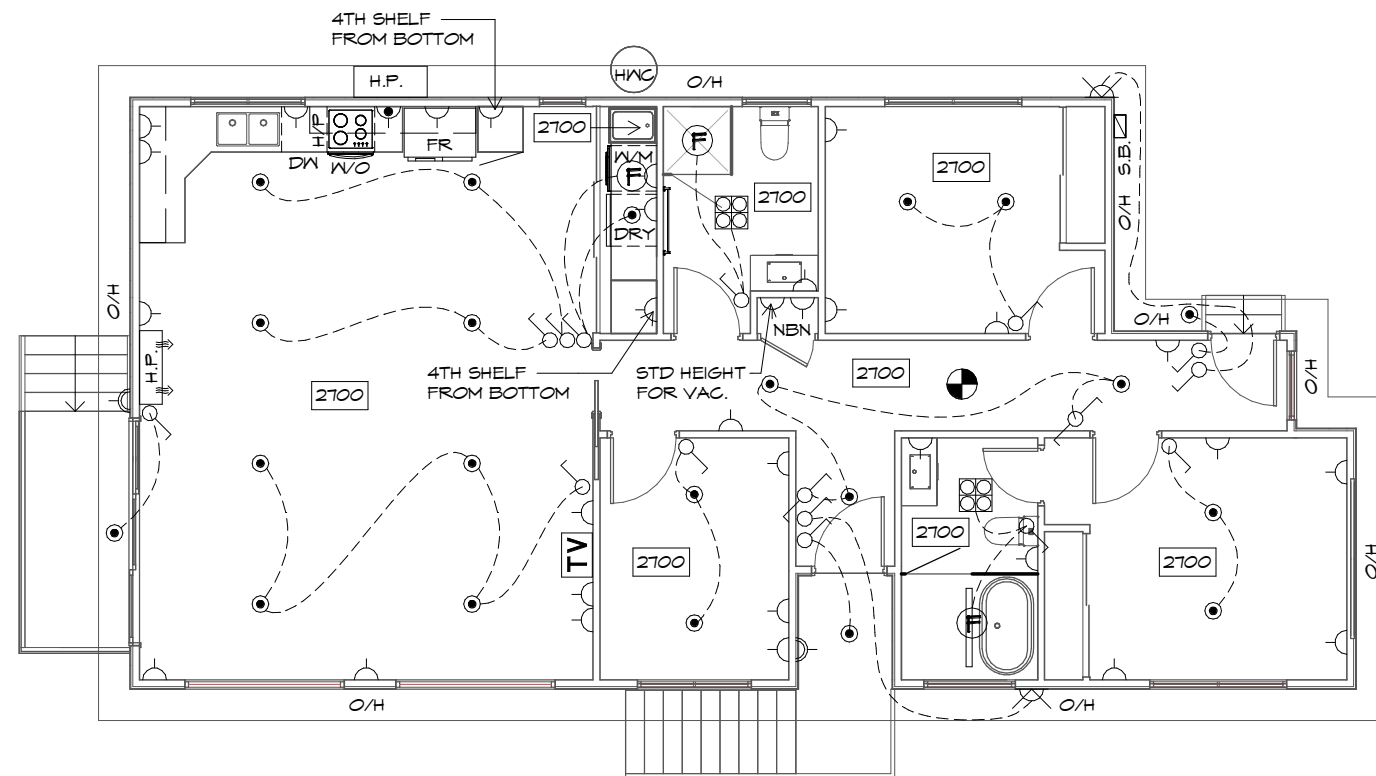
NOTE:  
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

## HEATING

- H.P.  HEAT PUMP
- H.P.  HEAT PUMP, OUTDOOR UNIT

## OTHER

-  240V SMOKE ALARM
-  SWITCH BOX
-  EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- R/H  RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER



# ELECTRICAL REFLECTED CEILING PLAN

1 : 100

### IMPORTANT:

PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS. ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT. IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

### SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

### ELECTRICAL

ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000

### ARTIFICIAL LIGHTING

RESIDENCES TO BE IN COMPLIANCE WITH NCC 2019 PART 3.12.5.5.

### ARTIFICIAL LIGHTING MUST NOT EXCEED:

- 5W/m<sup>2</sup> FOR CLASS 1 BUILDING
- 4W/m<sup>2</sup> FOR VERANDAHS & BALCONIES
- 3W/m<sup>2</sup> FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.

### EXHAUST FANS

EXHAUST FANS TO ACHIEVE FLOW RATE TO COMPLY WITH HOUSING PROVISIONS 10.8.2

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**. ALL CONSTRUCTION MUST COMPLY WITH AS3959. THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW.



Client name:  
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Project:  
PROPOSED NEW RESIDENCE  
54 KIEWA RISE  
LENAH VALLEY

Drawing:  
ELECTRICAL/REFLECTED CEILING PLAN

# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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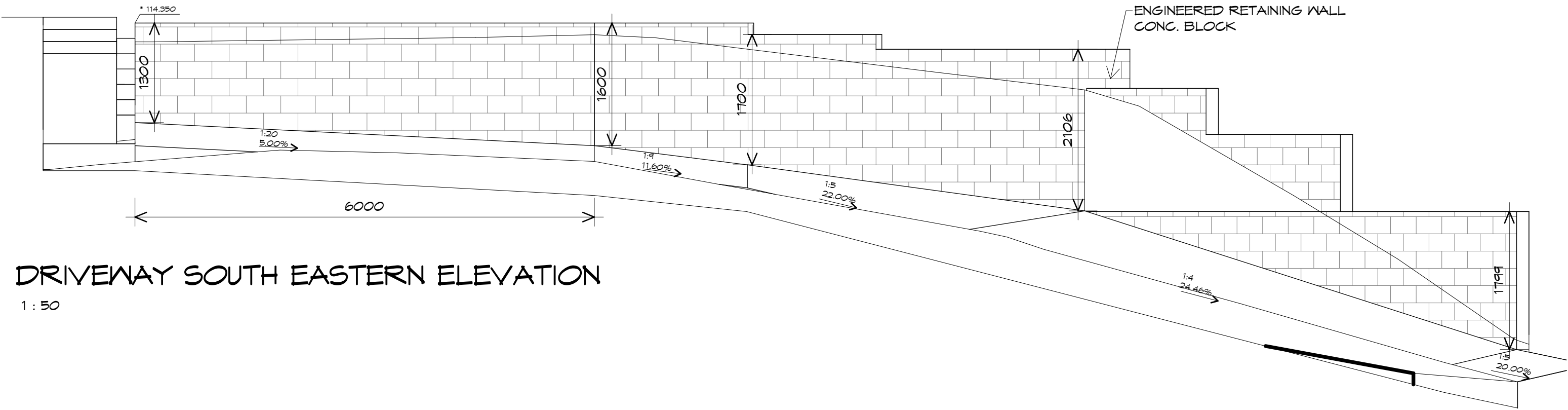


Date: 20.03.2026  
Drafted by: T.W.  
Approved by: Approver

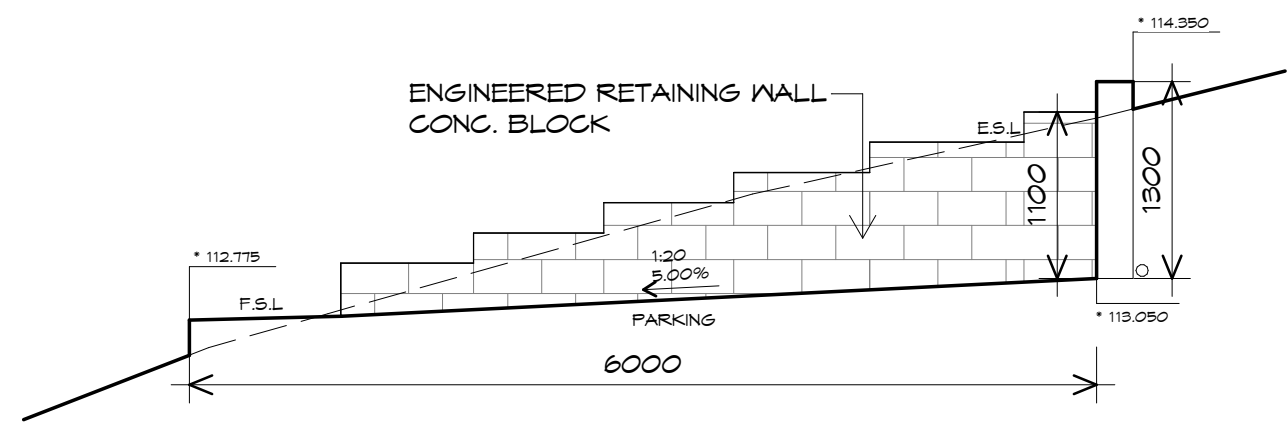
Project/Drawing no: PD25369 - 11  
Scale: 1 : 100  
Revision: 06

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REV.	DATE	DESCRIPTION



**DRIVEWAY SOUTH EASTERN ELEVATION**  
 1 : 50



**DRIVEWAY SOUTH WESTERN SECTION**  
 1 : 50



REV. DATE	DESCRIPTION
-----------	-------------

Client name:  
 H.T. KAO & W.T. LIU

**PLANNING**  
 NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
 PROPOSED NEW RESIDENCE  
 54 KIEWA RISE  
 LENA VALLEY  
 Drawing:  
 RETAINING WALL ELEVATION & SECTION

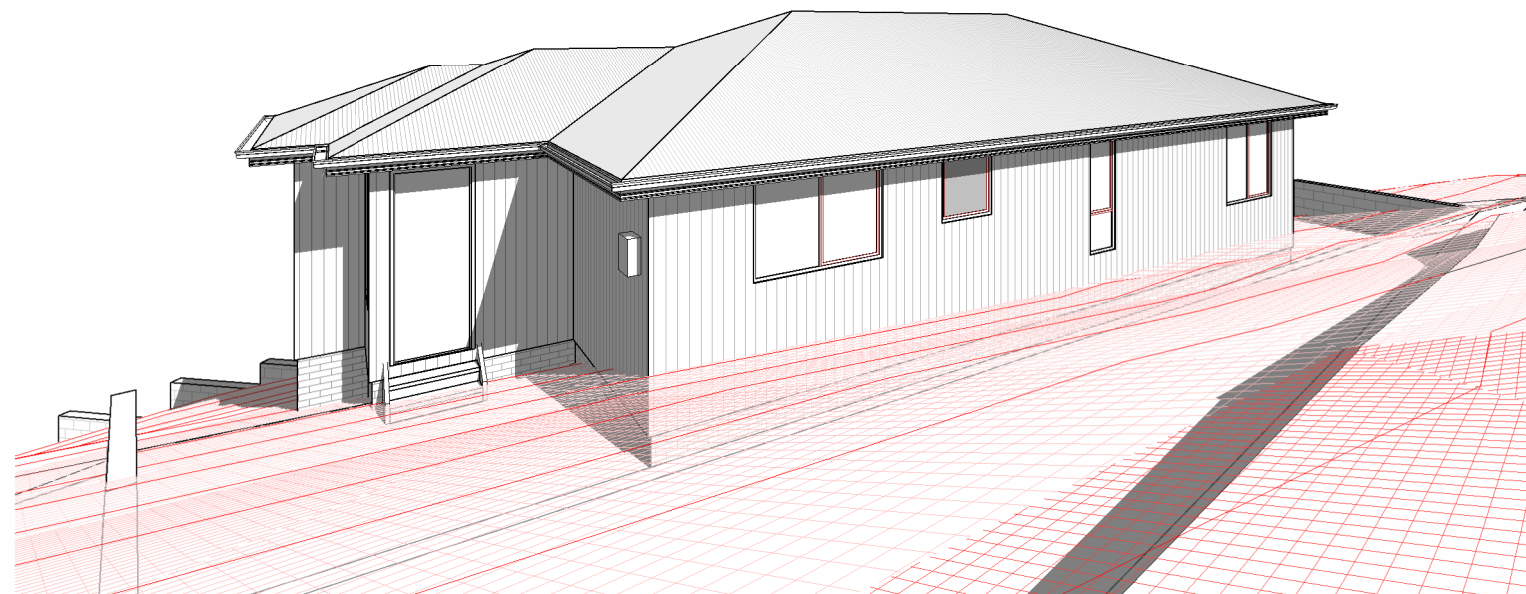
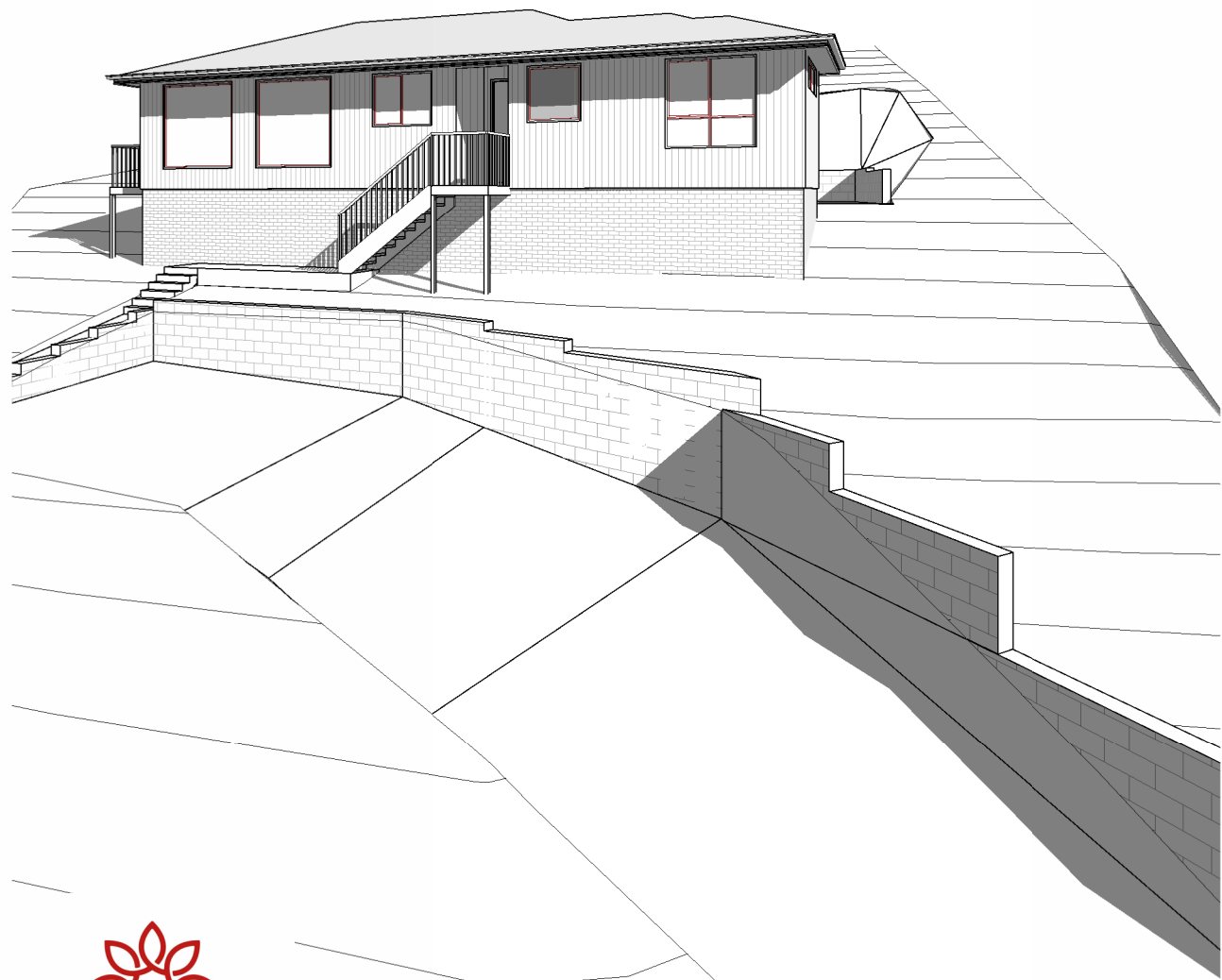
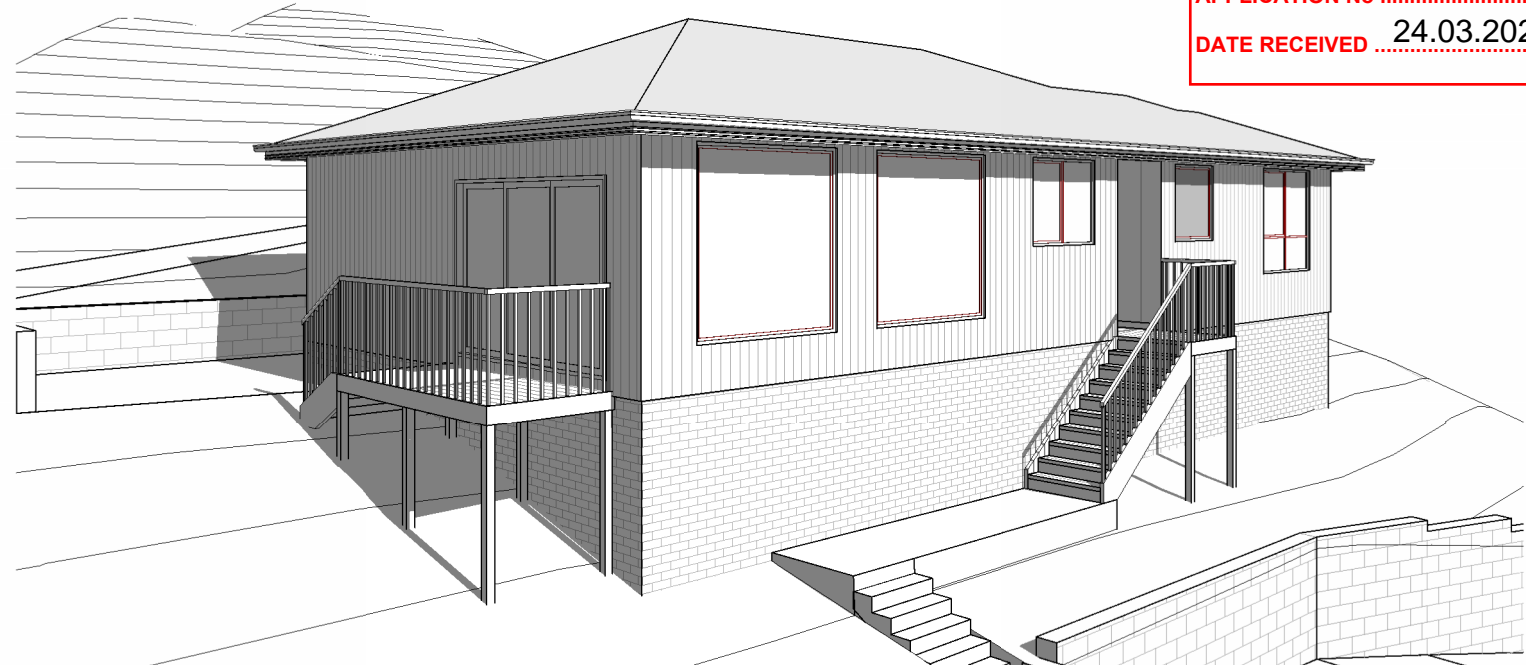
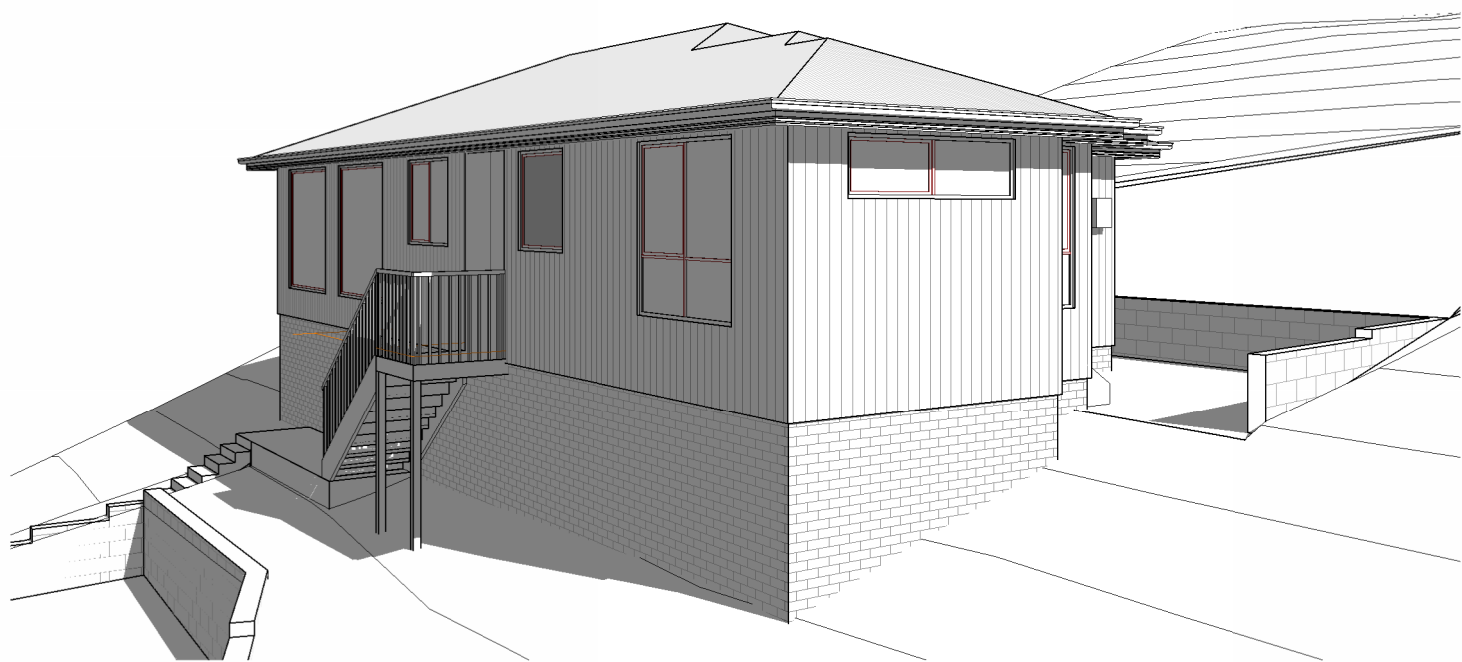


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Date: 20.03.2026  
 Drafted by: T.W.  
 Approved by: Approver

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PROPOSED NEW RESIDENCE  
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LENAH VALLEY

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Drafted by: T.W.  
Approved by: Approver

REV.	DATE	DESCRIPTION

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Scale:  
Revision: 06

**PLANNING**

Drawing:  
PERSPECTIVES

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