

Bushfire Hazard Report

Proposed Subdivision

22-24 Arunta Crescent, Chigwell

for James McEldowney

5 February 2025

Version control

Revision	Description	Issue date	Issued by
A	Development Application	06/02/2025	Dean Grannetia
B	Development Application – Exemption amendment	19/03/2026	Dean Grannetia

PROJECT NUMBER **24.0489**
 REPORT AUTHOR **Dean Grannetia**
 CHECKED BY **Dale Hayers**

Gandy and Roberts Consulting Engineers
 STRUCTURAL CIVIL HYDRAULICS

Ph 03 6215 8600
 mail@gandyandroberts.com.au
 159 Davey Street Hobart, Tasmania 7000
 www.gandyandroberts.com.au

1.0 Executive Summary

This Bushfire Risk Assessment has been prepared to support the subdivision of 3 lots at 22-24 Arunta Crescent, Chigwell. The site is located within a bushfire prone area and has been deemed to be bushfire prone due to the forest and woodland surrounding the site.

This report has been prepared in conjunction with the design plans provided by the designer and this report must be read in conjunction with the specifications contained in those plans.

This report identifies the protective management measures that must be incorporated into the subdivision at a planning stage to ensure compliance with the standards. Bushfire management solutions are defined in Planning Directive No. 5.1 – Bushfire-Prone Areas Code.

Provided the bushfire management measures as per Section 6 of this report and the Bushfire Hazard Management Plan being provided is established and maintained, the new subdivision lots are capable of compliance with the Bushfire Prone Areas Code of the State Planning scheme and as a result, the bushfire risk is reduced.

Limitations

The effectiveness of the measures and recommendations detailed in this report and AS 3959-2018 are dependent on their implementation and maintenance for the life of the development or until the site characteristics that this assessment has been measured from alter from those identified. No liability can be accepted for actions by lot owners, Council or government agencies which compromise the effectiveness of this report.

Disclaimer

The assessor has taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment.

While measures outlined in this report are designed to reduce the bushfire risk to the dwelling, due to the unpredictable nature of wildfires and impacts of extreme weather conditions the survival of the structure during a fire event cannot be guaranteed.

This report has been prepared by Dean Grannetia **BFP – 166**.

A site inspection was carried out on 14.01.2025.

Contents

1.0 Executive Summary.....	2
2.0 Introduction	5
3.0 Site details.....	5
4.0 Proposed development.....	7
5.0 BAL Assessment	7
5.1 Method.....	7
5.2 Bushfire Attack Level – (BAL) Assessment Tables	8
6.0 Compliance	9
6.1 Construction requirements:.....	9
6.2 Property access:	9
6.3 Water supplies for firefighting:	10
6.4 Hazard management area:.....	10
7.0 Conclusion & Recommendations.....	11
8.0 Limitations of Plan	12
9.0 References	12
Appendix A – site photos	13
Appendix B – Proposed Subdivision Plans	17
Appendix C – Bushfire Hazard Management Plan	18

2.0 Introduction

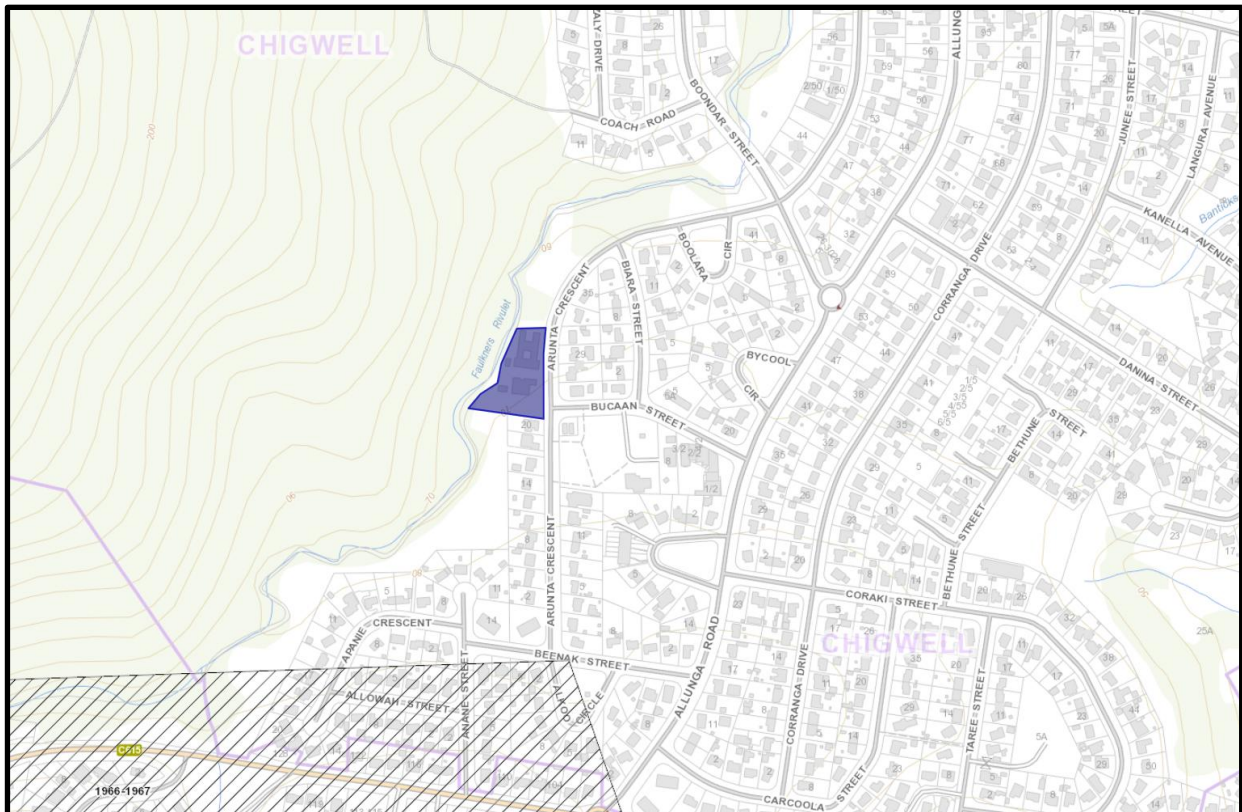
The following Bushfire Hazard Assessment report has been undertaken to accompany a subdivision proposal for 3 new lots at 22-24 Arunta Crescent, Chigwell. The proposed subdivision is within the Bushfire Prone Area overlay identified by the State planning scheme and is exposed to bushfire threat from forest vegetation within surrounding properties.

This report includes an assessment of the Bushfire Attack Level (BAL) using the simplified procedure and outlines the requirements to be implemented on site to achieve compliance with the Bushfire-Prone Areas Code of the State planning provisions.

3.0 Site details

Property address:	22-24 Arunta Crescent, Chigwell
Title Reference:	86621/1
PID No.:	5299208
Municipal Area:	Glenorchy
Zoning:	General Residential
Planning Scheme Overlay:	Waterway and Coastal protection area Bushfire-prone areas Flood-prone areas

Figure 1 – site locality



Site Description

The 3971m² lot at 22-25 Arunta Crescent has an existing house and 2 units that are over 40 years old and are unlikely to have been constructed with bushfire resistance in mind. The buildings have driveway access to the street which is located approximately 480m from Berriedale Road. The lot has access to services including mains water, power and comms.

The site is adjacent Faulkners rivulet which contains an assortment of exotic vegetation and weed infestation in the riparian zone, there is also a line of mature eucalypts at spacings of approximately 20m along the eastern bank. To the east of the rivulet is managed residential land and public open space, to the west of the rivulet is eucalyptus forest that extend into the Mount Faulkner reserve area.

The natural topography of the site falls at approximately 5 degrees towards the rivulet on the eastern side and rises up at 25 degrees to the west of the rivulet.

No assessment has been completed regarding details of any significant environmental features, threatened species, or Aboriginal objects or places situated at the site.

Please refer to Appendix A for photos from the site taken 14.01.2025.

Figure 2 – Aerial Image of Site



4.0 Proposed development

The proposed development is for the subdivision of 3 lots and will require the establishment and maintenance of a bushfire hazard management area (HMA) to provide protection for the new lots and the existing dwellings. There is no proposed staging of the subdivision.

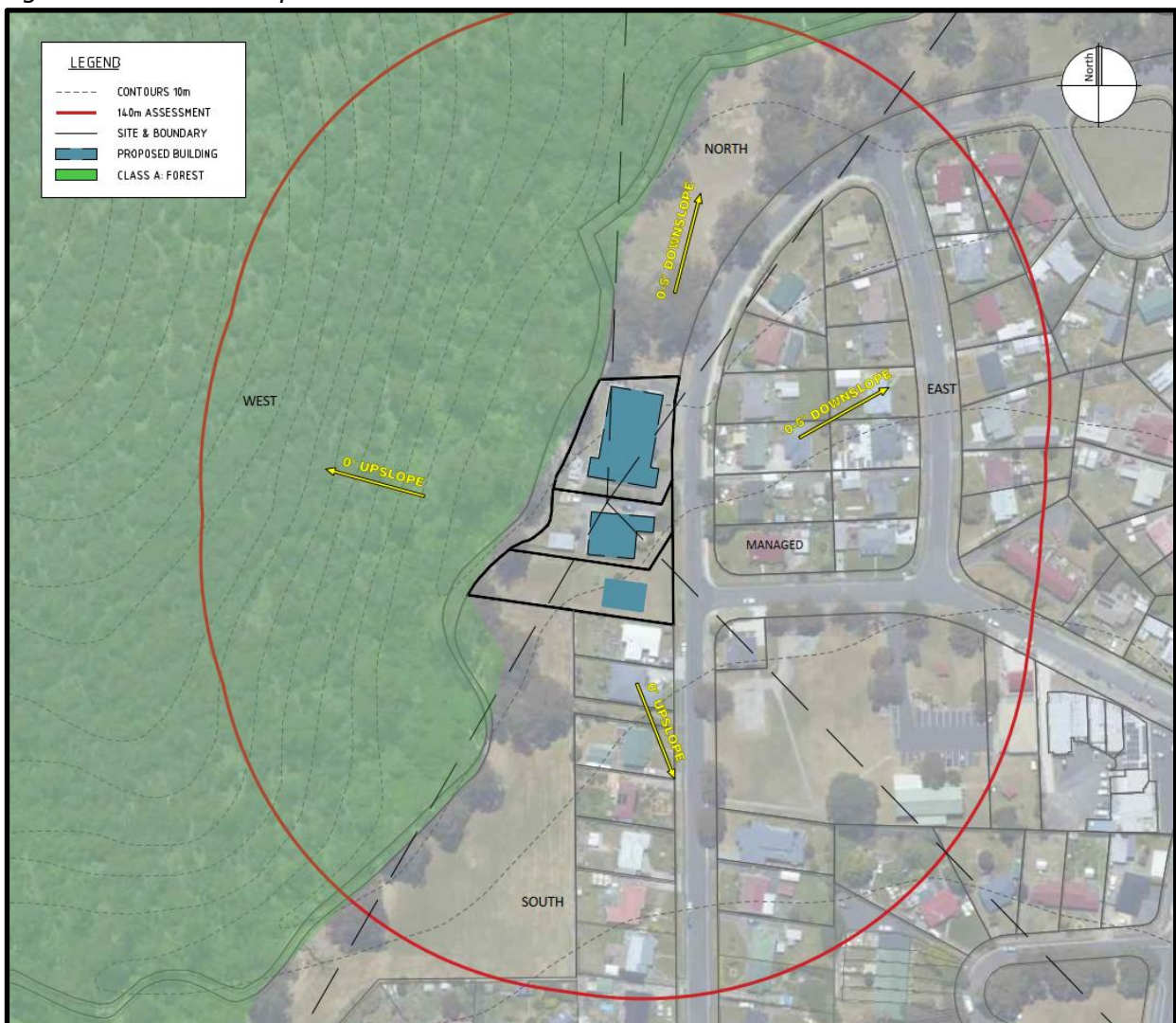
Refer to **Appendix B** for subdivision plans.

5.0 BAL Assessment

5.1 Method

Method 1 (simplified Procedure) described in Section 2 of AS3959-2018 was applied to the lots in determining the Bushfire Attack Level for the site. Comprehensive field measurements and desktop analysis of aerial and satellite imagery was used to determine effective slopes and distances to classified vegetation. Refer *Figure 3* below for the assessment plan.

Figure 3 – Assessment plan



5.2 Bushfire Attack Level – (BAL) Assessment Tables

Bushfire Hazard:	Woodland and Forest
Bushfire Attack Mechanism:	Ember attack, wind, smoke and radiant heat (<19kW/m ²)
Bushfire Threat Direction:	The main bushfire threat is ember attack that will come from the west due to the longer fire runs.
Fire Danger Index:	FDI 50 (Fire risk rating applied across Tasmania)
Vegetation & Slope:	On the eastern side of Faulkners rivulet are urban areas categorized by developed residential lots and small parcels of managed public open space that have been assessed as managed land. On the western side of the Rivulet is area described as Eucalyptus globulus dry forest and woodland (DGL) by TASVEG and has been assessed as Classification A: Forest Note: There are a number of trees in the Public open space on the eastern side of the rivulet that have been excluded from the assessment in accordance with clause 2.2.3.2 (f) of AS3959:2018 due to low fuel load and separation between canopies.
Significant Natural values:	N/A

LOT 1 & 2

AZIMUTH	VEGETATION CLASSIFICATION	EFFECTIVE SLOPE	DISTANCE TO CLASSIFIED VEGETATION	HAZARD MANAGEMENT AREA OFFSET	BAL
North	LTV*	>0° to 5° (down slope)	0m	TO BOUNDARY	LOW
East	MANAGED	>0° to 5° (down slope)	0m	TO BOUNDARY	LOW
South	LTV*	0° (up slope)	0m	TO BOUNDARY	LOW
West	FOREST	0° (up slope)	5m	TO BOUNDARY	FZ

Table 1 – Lot 1 and 2 assessment table * Low threat vegetation as per AS 3959:2018 section 2.2.3.2

LOT 3

AZIMUTH	VEGETATION CLASSIFICATION	EFFECTIVE SLOPE	DISTANCE TO CLASSIFIED VEGETATION	HAZARD MANAGEMENT AREA OFFSET	BAL
North	LTV*	>0° to 5° (down slope)	0m	TO BOUNDARY	LOW
East	MANAGED	>0° to 5° (down slope)	0m	TO BOUNDARY	LOW
South	LTV*	0° (up slope)	0m	TO BOUNDARY	LOW
West	FOREST	0° (up slope)	23m	TO BOUNDARY	19

Table 1 – Lot 3 assessment table * Low threat vegetation as per AS 3959:2018 section 2.2.3.2

6.0 Compliance

The proposed subdivision is located within bushfire-prone area as identified in the Tasmanian Planning Scheme overlay. The bushfire hazard to the proposed lots have been assessed using the simplified procedure as per AS3959-2018. It has been found that there is a risk of Bushfire attack from radiant heat, embers, smoke and wind.

As such the proposed subdivision must comply with the Bushfire-Prone Areas Code of the scheme to ensure that the use and development is designed, located, serviced and constructed to reduce the risk to human life, property and the cost to the community, caused by bushfires.

Section 6 of this report tabulates the specifications for standards set out in C13.0 of the Bushfire code for subdivisions. This proposal must comply with this directive at set out in Section 6 below.

6.1 Construction requirements:

Requirements:

The planning scheme does not specify construction requirements for subdivisions.

Recommendations:

Future building design will be required to comply with bushfire requirements applicable under the Building Regulations 2016, AS3959-2018 and assessed by a building surveyor prior to construction. Any future building works that is sited and designed in accordance with the subdivision BHMP may rely on it for compliance purposes for up to 6 years from certification.

There is no requirement to upgrade the existing dwellings on Lot 1 & 2 but it is highly recommended to install gutter guards or similar low cost features to reduce risk of fire from ember attack where possible.

6.2 Property access:

Requirements:

13.6.2 Public and fire-fighting access

A1(b) A proposed plan of subdivision showing the layout of roads, fire trails and the location of property access to building areas, is included in a bushfire hazard management plan that:

- i. demonstrates proposed roads will comply with Table C13.1, proposed property accesses will comply with Table C13.2 and proposed fire trails will comply with Table C13.3.*

Compliance:

In accordance with Table C13.2; Property access to lots 1, 2 and 3 is less than 30m and as such, access is not required for a fire appliance to access a fire-fighting water point.

Recommendations:

Each lot is accessible from Arunta Crescent and there is ample hardstand for a fire appliance within the road reserve, there are no requirements for providing bushfire access.

6.3 Water supplies for firefighting:

Requirements:

13.6.3 Provision of water supply for fire fighting purposes

A1(b) A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire.

Compliance:

In accordance with Table C13.4; lots 1, 2 and 3 are within 120m of an existing fire hydrant measured as a hose lay between the fire-fighting water point and the furthest part of the building area.

Recommendations:

An existing hydrant located on the corner of Arunta Crescent and Bucaan Street and is able to service each lot, there is no requirements for providing a water supply for fire-fighting.

6.4 Hazard management area:

Requirements:

13.6.1 Provisions of hazard management areas

A1(a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of hazard management areas as part of a subdivision; or

A1(b) A The proposed plan of subdivision:

- i. Shows all lots that are within or partly within a bushfire-prone area, including those developed at each stage of a staged subdivision;*
- ii. Shows the building area for each lot;*
- iii. Shows hazard management areas between bushfire-prone vegetation and each building area that have dimensions equal to, or greater than, then separation distances required for BAL 19 in Table 2.6 of Australian Standard AS3959:2018 Construction of buildings in bushfire-prone Areas;*
- iv. Is accompanied by a bushfire hazard management plan that addresses all the individual lots that is certified by the TFS or accredited person, showing hazard management areas equal to, or greater than the separation distances required for BAL 19 in Table 2.6 of Australian Standard AS3959:2018 Construction of buildings in bushfire-prone Areas;*

Compliance:

Each lot of the subdivision is within a bushfire-prone area and subject to bushfire risk.

The building area for Lot 3 may be located on any part of the lot subject to minimum separation distances required for **BAL-19** as determined by using Table 2.4.4 or AS3959-2018 in accordance with the BHMP, refer to **Appendix C**.

Lot 1 and 2 are considered to be established sites without an existing BAL assessment, the proposed subdivision does not move the existing dwellings closer to bushfire prone vegetation no limit the extents in which area can be managed to reduced bushfire risk. As such, there is no increase in risk from bushfire to warrant provision of a hazard management area and the lots are exempt in accordance with 13.6.1 A1(a).

Recommendations:

The Bushfire Attack Level for Lot 3 is to be a minimum of **BAL-19**. A hazard management area (HMA) contained within the title boundary will need to be established and maintained to achieve this outcome. HMA's will need to be created prior to occupancy, preferably before building works. Lots 1 and 2 are exempt from requiring a HMA but it is recommended that they are managed as per the BHMP to reduce bushfire risk (Refer to 5.2 BAL assessment table and Bushfire Hazard Management Plan in **Appendix C** for separation distances).

Separation distances (hazard management area width) for each azimuth of the site that will result in a bushfire attack level of **BAL-19**. These are the minimum separation distance between the site (dwellings) and the bushfire prone vegetation. The hazard management area should have sufficient fuel removed such that the propagation or carriage of fire is significantly impeded.

It is the responsibility of the individual dwelling owners to continually maintain the hazard protection area identified on the Bushfire Hazard Management Plan (BHMA) attached. This area needs regular management to a minimum of the following recommendations, especially throughout the bushfire season:

- Remove fire hazards such as wood piles, firewood, rubbish and stored fuels.
- Grassed areas such as lawns to be regularly maintained to a maximum height of 100mm.
- Fuel loads (flammable vegetation such as ground litter, dead leaves, bark, sticks and branches) to be removed from the BHMA.
- All undergrowth to be removed and pruning of the understory (branches) of trees up to 2m within the BHMA. Tree crowns to have sufficient horizontal separation.
- Pathways to a minimum of 1m to surround the dwellings. Pathways to have a non-combustible surface such as gravel, pebbles, paving, concrete etc.
- Pine bark and mulches are not to be used within the BHMA.
- Avoid shrubs of a highly flammable nature and ensure shrubs are not planted in clumps that can collect debris such as leaf and vegetation litter. Succulents are an excellent choice for bushfire prone areas.

7.0 Conclusion & Recommendations

This Bushfire Hazard Report and Bushfire Hazard Management Plan have been prepared to support the subdivision of 3 new lots at 22-25 Arunta Crescent, Chigwell. The report has identified the site as bushfire prone land and has assessed the associated bushfire risks. The following fire management strategies must be carried out to ensure the development on the site is a reduced risk from bushfire attack:

- The existing buildings on Lot 1 and 2 are exempt from requiring a Hazard Management Area but it is recommended that the lots are managed in accordance with the BHMP to reduce bushfire risk.
- Lot 3 is able to comply with the planning scheme requirements if the following conditions are met during future development of the site;
 - Future proposed building works must meet all construction standards for **BAL-19** as per AS3959-2018 (sections 3 & 6);
 - A hazard management area is established in accordance with the BHMP and site separation distances are maintained.

8.0 Limitations of Plan

The protection measures outlined in the Bushfire Hazard Management Plan (Attachment 1) are based on a Fire Danger Index of 50 (FDI 50) which relates to a fire danger rating of 'very high'. Defending the property or sheltering within a structure constructed to AS3959-2018 on days when the fire danger rating is greater than 50 (i.e. 'severe' or higher) is not recommended.

Due to the unpredictable nature of bushfire behaviour and the impacts of extreme weather no structure built in a bushfire-prone area can be guaranteed to survive a bushfire. The safest option in the event of a bushfire is to leave the area early and seek shelter in a safe location.

9.0 References

- AS3959-2018. Australian Standard for Construction of buildings in bushfire-prone areas. SAI Global Limited Sydney, NSW Australia
- National Construction Code 2016 Vol Two, Building Code of Australia Class 1 and Class 10 Buildings. Australian Building Codes Board, Australia.
- State Planning Scheme 2015. <http://www.iplan.tas.gov.au/pages/plan/book.aspx?exhibit=claipts>
- Building for Bushfire. Planning and Building in Bushfire-Prone Areas for Owners and Builders. June 2020
- LISTmap 2018. Land Information System Tasmania, Tasmania Government.

Appendix A – site photos



Figure 1 - View of existing residence from Arunta Crs facing South.



Figure 2 - View of lot frontage along Arunta Crs facing North.



Figure 3 - View of Lot 3 facing West.



Figure 4 - View of existing residence on lot 1 facing South.



Figure 5 - View of vegetation behind lot 3 facing North-west.



Figure 6 - View of vegetation in public open space south of lots 3 facing South.



Figure 7- View of vegetation along rear boundaries facing North.



Figure 8- View of vegetation adjacent rivulet facing West.

Appendix B – Proposed Subdivision Plans

Appendix C – Bushfire Hazard Management Plan

J. McELDOWNEY

22-24 ARUNTA CRESCENT

Bushfire Hazard Management Plan

(title reference - 86621/1)

HAZARD MANAGEMENT AREA REQUIREMENTS:

DESIGN & CONSTRUCTION:

DWELLINGS TO BE DESIGNED AND CONSTRUCTED TO **BAL19** MINIMUM STANDARD UNDER AS3959:2018.

PROPERTY ACCESS:

SPECIFIED REQUIREMENTS FOR DESIGN AND CONSTRUCTION OF THE ACCESS ROAD AS PER SECTION 6.2 OF THE BUSHFIRE HAZARD REPORT

WATER SUPPLY FOR FIREFIGHTING:

WATER SUPPLY FOR FIREFIGHTING MUST MEET THE REQUIREMENTS OF SECTION 6.3 OF THE BUSHFIRE HAZARD REPORT.

HAZARD MANAGEMENT - VEGETATION MANAGEMENT:

THE AREA WITHIN THE OFFSET DISTANCES IDENTIFIED ON THIS SITE PLAN IS TO BE MAINTAINED AS A BUSHFIRE HAZARD MANAGEMENT AREA. THIS AREA MUST BE MAINTAINED IN PERPETUITY (REFER TO SECTION 6.4 OF THIS BUSHFIRE HAZARD MANAGEMENT REPORT).

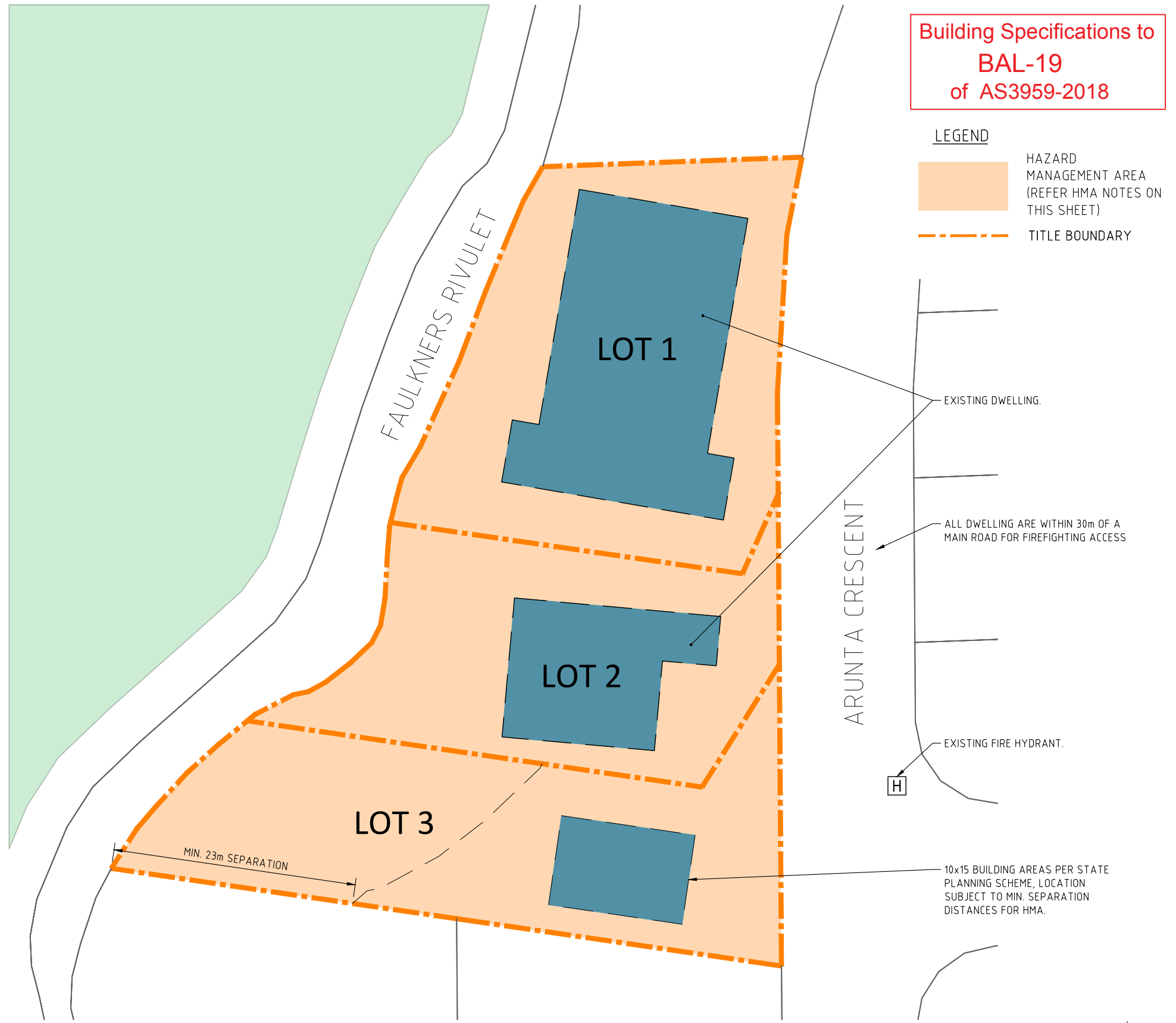
THE HMA NEEDS REGULAR MANAGEMENT TO A MINIMUM OF THE FOLLOWING RECOMMENDATIONS, ESPECIALLY THROUGHOUT THE BUSHFIRE SEASON:

- REMOVE FIRE HAZARDS SUCH AS WOOD PILES, FIREWOOD, RUBBISH AND STORED FUELS.
- GRASSED AREAS SUCH AS LAWNS TO BE REGULARLY MAINTAINED TO A MAXIMUM HEIGHT OF 100MM.
- FUEL LOADS (FLAMMABLE VEGETATION SUCH AS GROUND LITTER, DEAD LEAVES, BARK, STICKS AND BRANCHES) TO BE REMOVED FROM THE BHMA.
- ALL UNDERGROWTH TO BE REMOVED AND PRUNING OF THE UNDERSTORY (BRANCHES) OF TREES UP TO 2M WITHIN THE BHMA. TREE CROWNS TO HAVE SUFFICIENT HORIZONTAL SEPARATION.
- PATHWAYS TO A MINIMUM OF 1M TO SURROUND THE DWELLINGS. PATHWAYS TO HAVE A NON COMBUSTIBLE SURFACE SUCH AS GRAVEL, PEBBLES, PAVING, CONCRETE ETC.
- PINE BARK AND MULCHES ARE NOT TO BE USED WITHIN THE BHMA.
- AVOID SHRUBS OF A HIGHLY FLAMMABLE NATURE AND ENSURE SHRUBS ARE NOT PLANTED IN CLUMPS THAT CAN COLLECT DEBRIS SUCH AS LEAF AND VEGETATION LITTER.

NOTES:

PLAN TO BE READ IN ACCORDANCE WITH THE BUSHFIRE HAZARD REPORT DATED 6 FEB 2025.

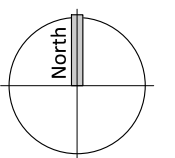
PREPARED BY DEAN GRANNETIA, GANDY & ROBERTS, ACCREDITATION NUMBER: BFP-166



SITE PLAN

1:500

IMPORTANT
DRAWING MUST BE PRINTED
AND READ IN COLOUR



2/7/2025 8:25:07 AM S:\Projects\2024\24.0489 22-24- Arunta Crescent\15 - GR drawings\CIV - Working drawings_model\20.0489 Arunta BHMP.dwg

REV	DESCRIPTION	APP'D	DATE
A	DEVELOPMENT APPLICATION	DH	06.02.2025

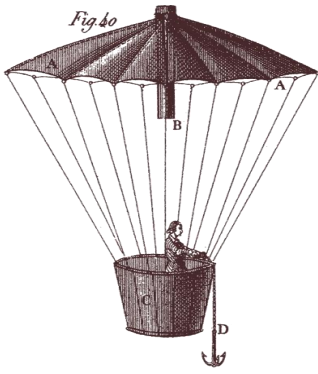
GANDY AND ROBERTS
CONSULTING ENGINEERS

159 DAVEY STREET, HOBART
TASMANIA, AUSTRALIA 7000
www.gandyandroberts.com.au
mail@gandyandroberts.com.au
ph 03 6223 8877

3 LOT SUBDIVISION
22-25 ARUNTA CRESCENT, CHIGWELL
DRAWING TITLE
BUSHFIRE HAZARD MANAGEMENT PLAN

DESIGNED	DRAWN	CHECKED
DG	DG	DH
PROJECT	DRAWING	REVISION
24.0489	BAL01	A

© GANDY AND ROBERTS Consulting Engineers.



BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) *LAND USE PLANNING AND APPROVALS ACT 1993*

1. Land to which certificate applies

The subject site includes property that is proposed for use and development and includes all properties upon which works are proposed for bushfire protection purposes.

Street address:

22-24 Arunta Crescent, Chigwell

Certificate of Title / PID:

86621/1

2. Proposed Use or Development

Description of proposed Use and Development:

3 Lot Subdivision

Applicable Planning Scheme:

Glenorchy Council – State planning provisions

3. Documents relied upon

This certificate relates to the following documents:

Title	Author	Date	Version
Bushfire Hazard Report	D. Grannetia	19.03.2026	B
Bushfire Hazard Management Plan	D. Grannetia	06.02.2025	A

¹ This document is the approved form of certification for this purpose and must not be altered from its original form.

4. Nature of Certificate

The following requirements are applicable to the proposed use and development:

<input type="checkbox"/> E1.4 / C13.4 – Use or development exempt from this Code	
Compliance test	Compliance Requirement
<input type="checkbox"/> E1.4(a) / C13.4.1(a)	Insufficient increase in risk

<input type="checkbox"/> E1.5.1 / C13.5.1 – Vulnerable Uses	
Acceptable Solution	Compliance Requirement
<input type="checkbox"/> E1.5.1 P1 / C13.5.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/> E1.5.1 A2 / C13.5.1 A2	Emergency management strategy
<input type="checkbox"/> E1.5.1 A3 / C13.5.1 A2	Bushfire hazard management plan

<input type="checkbox"/> E1.5.2 / C13.5.2 – Hazardous Uses	
Acceptable Solution	Compliance Requirement
<input type="checkbox"/> E1.5.2 P1 / C13.5.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/> E1.5.2 A2 / C13.5.2 A2	Emergency management strategy
<input type="checkbox"/> E1.5.2 A3 / C13.5.2 A3	Bushfire hazard management plan

<input checked="" type="checkbox"/> E1.6.1 / C13.6.1 Subdivision: Provision of hazard management areas	
Acceptable Solution	Compliance Requirement
<input checked="" type="checkbox"/> E1.6.1 P1 / C13.6.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input checked="" type="checkbox"/> E1.6.1 A1 (a) / C13.6.1 A1(a)	Insufficient increase in risk
<input checked="" type="checkbox"/> E1.6.1 A1 (b) / C13.6.1 A1(b)	Provides BAL-19 for all lots (including any lot designated as 'balance')
<input type="checkbox"/> E1.6.1 A1(c) / C13.6.1 A1(c)	Consent for Part 5 Agreement

<input checked="" type="checkbox"/>	E1.6.2 / C13.6.2 Subdivision: Public and fire fighting access	
	Acceptable Solution	Compliance Requirement
<input checked="" type="checkbox"/>	E1.6.2 P1 / C13.6.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.6.2 A1 (a) / C13.6.2 A1 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.2 A1 (b) / C13.6.2 A1 (b)	Access complies with relevant Tables

<input checked="" type="checkbox"/>	E1.6.3 / C13.1.6.3 Subdivision: Provision of water supply for fire fighting purposes	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.3 A1 (a) / C13.6.3 A1 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.3 A1 (b) / C13.6.3 A1 (b)	Reticulated water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A1 (c) / C13.6.3 A1 (c)	Water supply consistent with the objective
<input type="checkbox"/>	E1.6.3 A2 (a) / C13.6.3 A2 (a)	Insufficient increase in risk
<input type="checkbox"/>	E1.6.3 A2 (b) / C13.6.3 A2 (b)	Static water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A2 (c) / C13.6.3 A2 (c)	Static water supply consistent with the objective

5. Bushfire Hazard Practitioner

Name:

Dean Grannetia

Phone No:

0448 020 491

Postal Address:

159 Davey Street,
Hobart, TAS, 7050

Email Address:

dgrannetia@
gandyandrobarts.com.au

Accreditation No:

BFP – 166

Scope:

1, 2, 3A, 3B, 3C

6. Certification

I certify that in accordance with the authority given under Part 4A of the *Fire Service Act 1979* that the proposed use and development:

- Is exempt from the requirement Bushfire-Prone Areas Code because, having regard to the objective of all applicable standards in the Code, there is considered to be an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measures, or
- The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and compliant with the relevant **Acceptable Solutions** identified in Section 4 of this Certificate.

Signed:
certifier



Name:

Dean Grannetia

Date:

19.03.2026

Certificate
Number:

24.0489 BHMP_02

(for Practitioner Use only)