

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-068
PROPOSED DEVELOPMENT:	Single Dwelling
LOCATION:	46 Wallcrest Road Berriedale
APPLICANT:	Joscon Tasmania Pty Ltd
ADVERTISING START DATE:	24/04/2026
ADVERTISING EXPIRY DATE:	08/05/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **08.05.2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **08.05.2026**, or for postal and hand delivered representations, by 5.00 pm on **08.05.2026**.

PROPOSED NEW RESIDENCE

46 WALLCREST ROAD, BERRIEDALE

JOSCON TAS

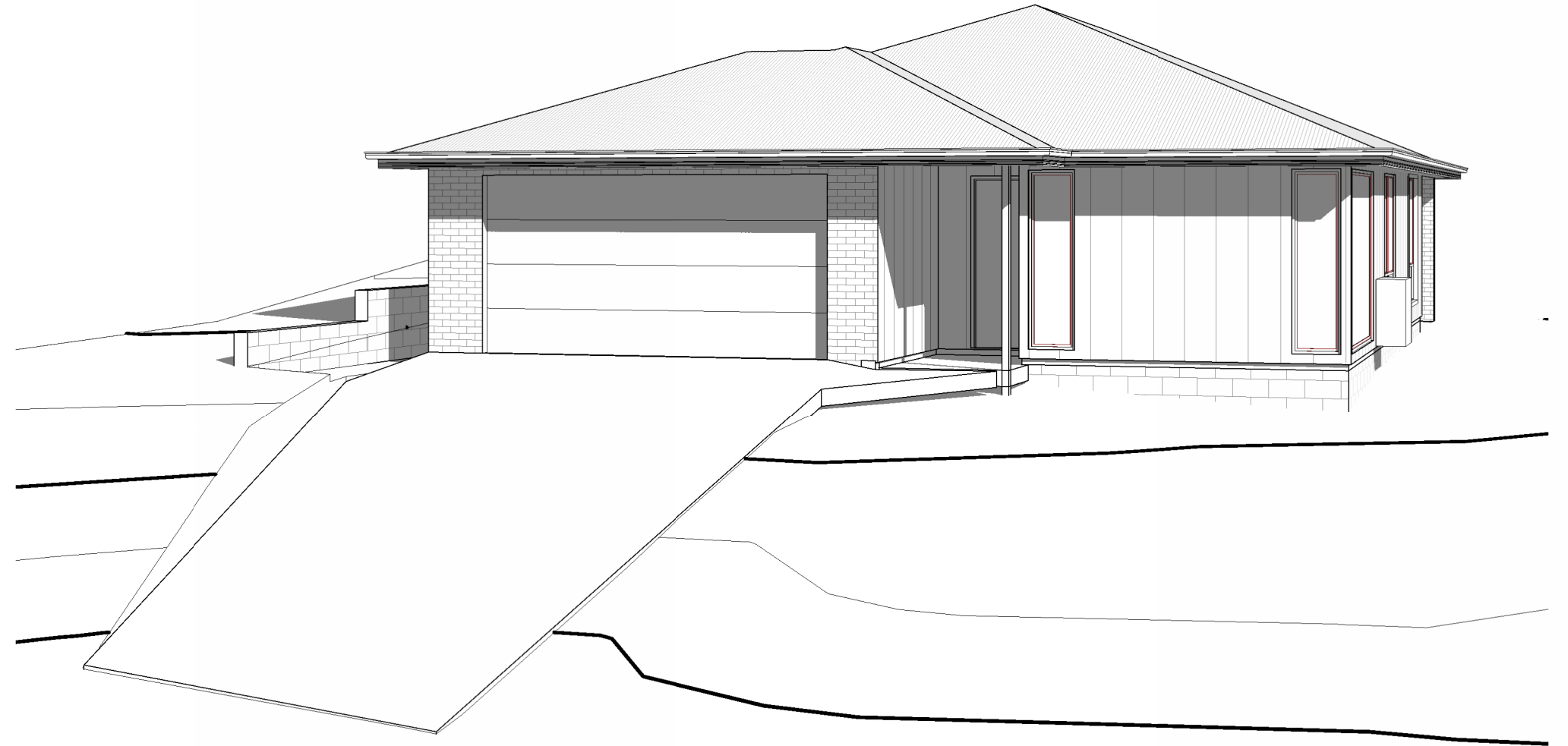
PD25460

2030

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No ... PLN-26-068
DATE RECEIVED ... 25-03-2026

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	FLOOR PLAN
05	DOOR AND WINDOW SCHEDULES
06	ELEVATIONS
07	ELEVATIONS
08	ROOF PLAN
09	ELECTRICAL/REFLECTED CEILING PLAN
10	PERSPECTIVES



GENERAL PROJECT INFORMATION

TITLE REFERENCE: 36/182104
 SITE AREA: 549m2
 DESIGN WIND SPEED: N3
 SOIL CLASSIFICATION: S
 CLIMATE ZONE: 7
 ALPINE AREA: NO
 CORROSIVE ENVIRONMENT: N/A
 BAL RATING: 12.5
 OTHER KNOWN HAZARDS: PRIORITY VEGETATION AREA,
 BUSHFIRE-PRONE AREA



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 H: Shop 9, 105-111 Main Road, Moonah, 7009
 p(h) + 03 6228 4575
 info@primedesigntas.com.au
 Accredited Building Practitioner:



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 Frank Geskus -No CC246A

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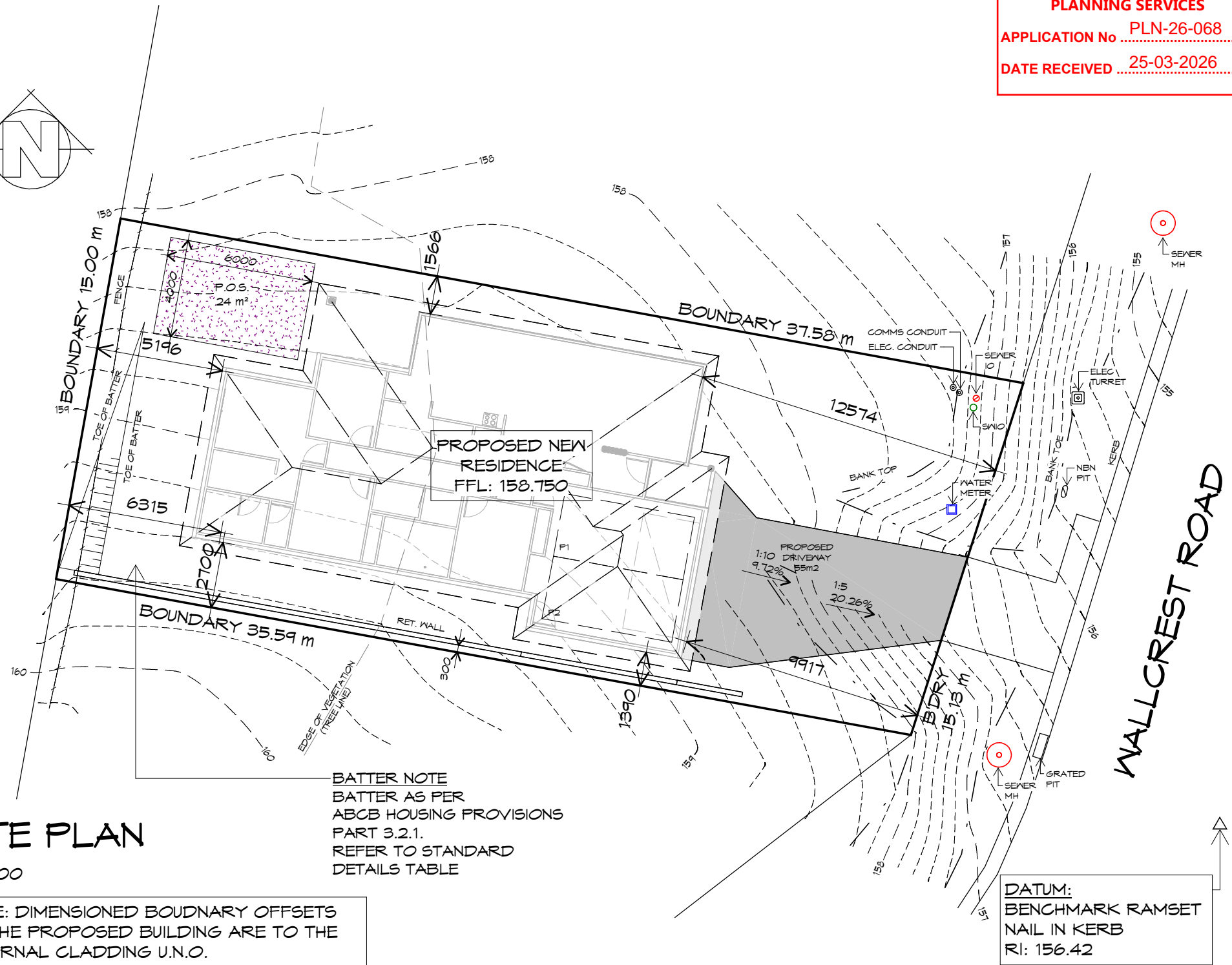
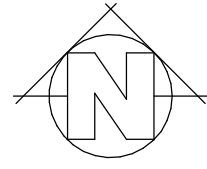
REV.	DATE	DESCRIPTION
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FLOOR AREA	156.95 m2	(16.90 SQUARES)
GARAGE AREA	40.38 m2	(4.35 SQUARES)
TOTAL AREA	197.33	21.24

MARCH 2026
PLANNING

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. PLN-26-068
DATE RECEIVED 25-03-2026



SITE PLAN

1 : 200

NOTE: DIMENSIONED BOUDNARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

BATTER NOTE
BATTER AS PER ABCB HOUSING PROVISIONS PART 3.2.1. REFER TO STANDARD DETAILS TABLE

DRIVENWAY GRADIENT
MAXIMUM GRADIENT 1:4 (25%) TO AS 2890

CAR PARKING GRADIENT
PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

SEWER AND WATER SERVICES
• ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
• WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

DATUM:
BENCHMARK RAMSET NAIL IN KERB
RI: 156.42

- GENERAL NOTES**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
 - CONFIRM ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
 - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
 - CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
 - DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

- SURVEYORS NOTES**
- THIS DRAWING HAS BEEN PREPARED FOR RONALD YOUNG & CO BUILDERS BY PETER BINNY SURVEYS.
 - IT HAS BEEN CREATED TO ASSIST WITH SITE DESIGN.
 - THE INFORMATION ON THIS PLAN SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 - PETER BINNY SURVEYS CAN SUPPLY DRAWINGS FOR OTHER PURPOSES UPON REQUEST.
 - BOUNDARIES SHOWN FOR IDENTIFICATION PURPOSES ONLY AND HAVE NOT BEEN RE-ESTABLISHED OR RE-MARKED.
 - VISIBLE SERVICES LOCATED ONLY.
 - OTHER SERVICES MAY EXIST.
 - THIS DISCLAIMER FORMS AN INTEGRAL PART OF THE PLAN..

SETBACKS
REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

GARAGE IS LOCATED WITHIN 12m OF THE PRIMARY FRONTAGE, OPENING WIDTH IS 4.8m

SITE COVERAGE
BUILDING FOOTPRINT 198.20 /SITE AREA 549 = 0.361
TOTAL SITE COVERAGE 36.1%

PRIVATE OPEN SPACE
24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - 12.5 REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.



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NOT FOR CONSTRUCTION

REV.	DATE	DESCRIPTION

Client name:
JOSCON TAS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
46 WALLCREST ROAD,
BERRIEDALE







Drawing:
SITE PLAN

Date: 17.03.2026
Drafted by: L.L.
Approved by: M.R.

Project/Drawing no: PD25460 - 01
Scale: 1 : 200
Revision: 04

Accredited building practitioner: Frank Geskus -No CC246A
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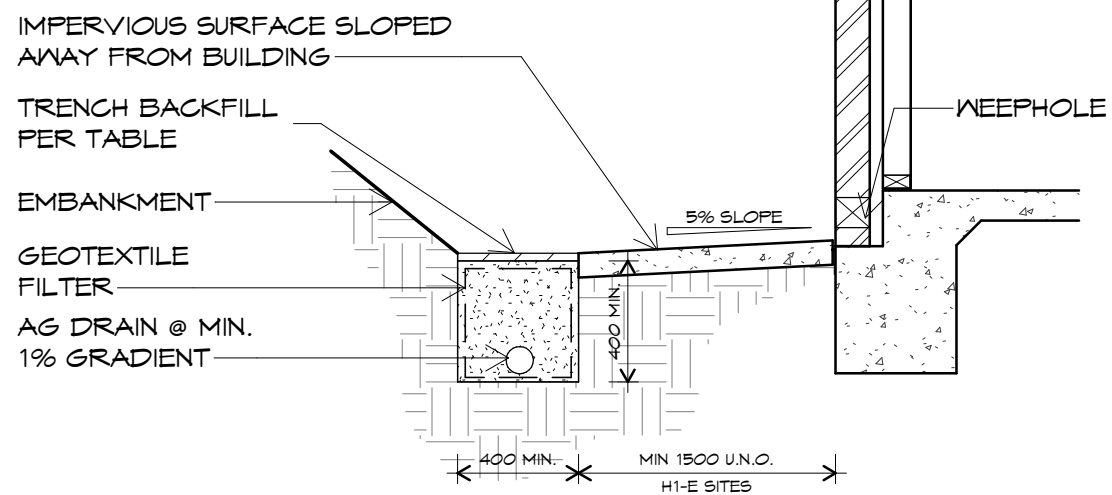
LEGEND

-  450X 450 SURFACE DRAINAGE PIT
-  WET AREAS
-  SEWER LINE
-  STORMWATER LINE
-  100φ AG DRAIN
-  G.T. GRATED TRENCH

PLUMBING NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

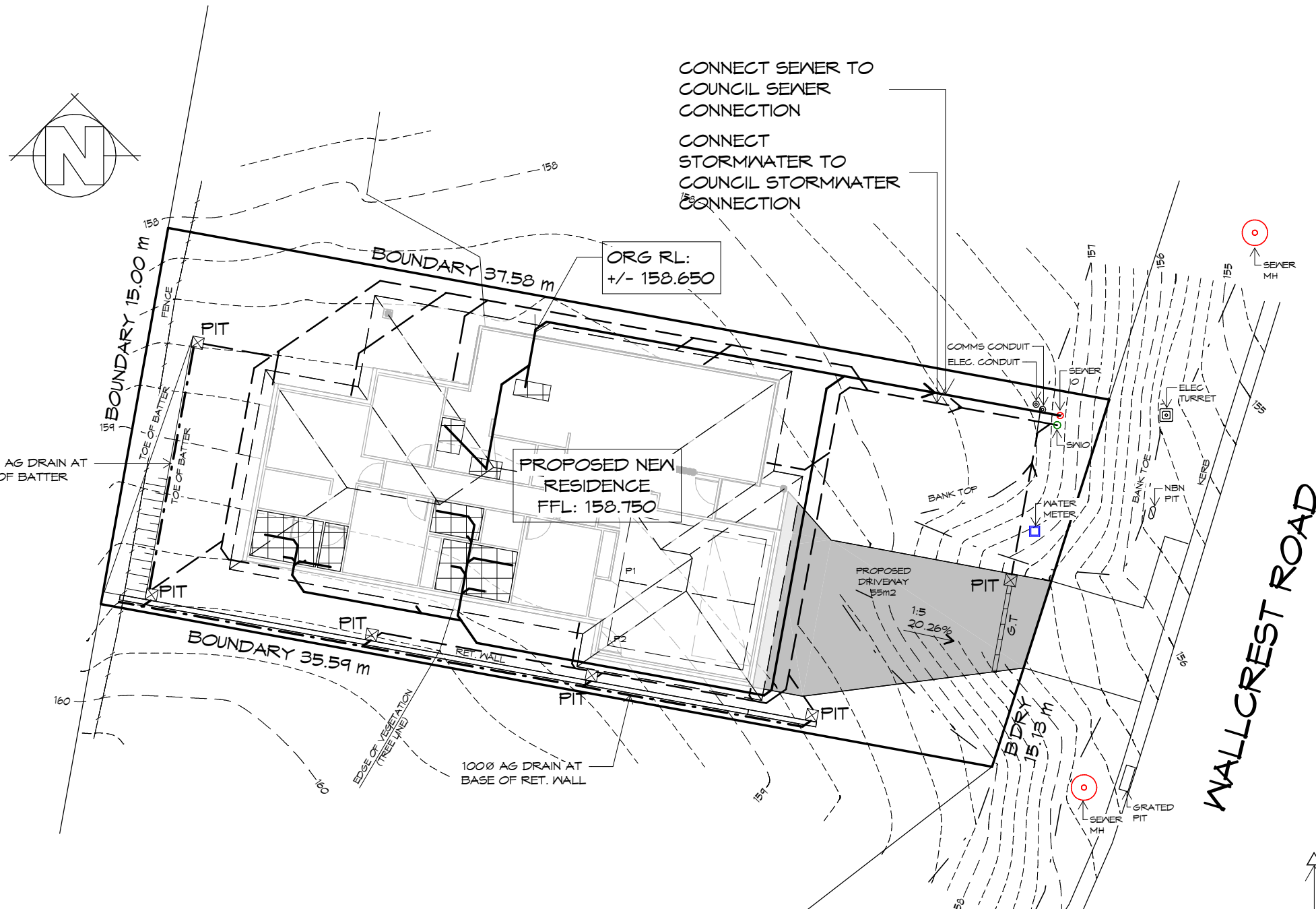
TRENCH BACKFILL PER SITE CLASS TO COMPLY WITH AS2870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY



TYPICAL AG DRAIN DETAIL

N.T.S.



SITE DRAINAGE PLAN

1 : 200

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER ASNZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

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Client name:
JOSCON TAS

Project:
PROPOSED NEW RESIDENCE
46 WALLCREST ROAD,
BERRIEDALE

Date: 17.03.2026
Drafted by: L.L.
Approved by: M.R.

Project/Drawing no: PD25460 - 02
Scale: As indicated
Revision: 04



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PROPOSED NEW RESIDENCE
46 WALLCREST ROAD, BERRIEDALE

LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **REQUIRES** A BUSHFIRE ASSESSMENT.
RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN



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Client name:
JOSCON TAS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
46 WALLCREST ROAD,
BERRIEDALE

Drawing:
LOCALITY PLAN

Date: 17.03.2026	Drafted by: L.L.	Approved by: M.R.
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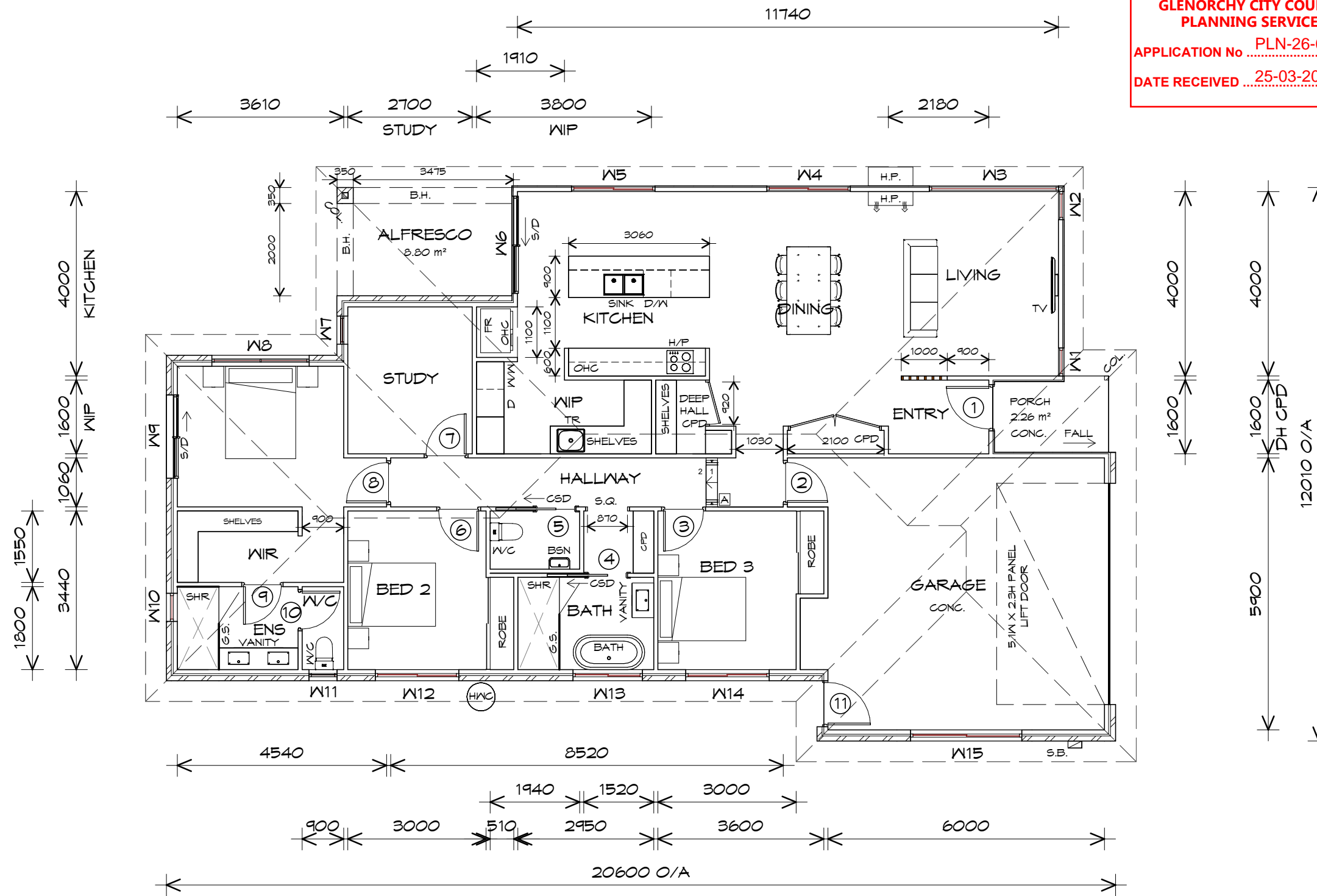
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
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LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- S.Q. SQUARE STOP
- COL 350X350 BRICK COLUMN
C/W 90 SHS INSIDE
- B.H. BULKHEAD



FLOOR PLAN

1 : 100

FLOOR AREA 156.95 m² (16.90 SQUARES)
GARAGE AREA 40.38 m² (4.35 SQUARES)
TOTAL AREA 197.33 21.24

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

STAIRS

STAIR	NO RISERS	RISER HT	TREAD DEPTH
A	2	150	250

NON SLIP TO COMPLY NCC 2022



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46 WALLCREST ROAD,
BERRIEDALE

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FLOOR PLAN

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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	870	INTERNAL TIMBER DOOR	
3	870	INTERNAL TIMBER DOOR	
4	870	CAVITY SLIDING DOOR	
5	870	CAVITY SLIDING DOOR	
6	870	INTERNAL TIMBER DOOR	
7	870	INTERNAL TIMBER DOOR	
8	870	INTERNAL TIMBER DOOR	
9	820	INTERNAL TIMBER DOOR	
10	820	INTERNAL TIMBER DOOR	
11	920	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	2300	610	FIXED WINDOW	
W2	2300	610	FIXED WINDOW	
W3	2300	2800	FIXED WINDOW	SIZE TO BE CONFIRMED BY WINDOW MANUFACTURER.
W4	2100	1810	SLIDING WINDOW	
W5	2100	1810	SLIDING WINDOW	
W6	2400	2110	SLIDING DOOR	
W7	2000	610	AWNING WINDOW	
W8	600	2110	AWNING WINDOW	
W9	2100	1810	SLIDING DOOR	
W10	2000	610	FIXED WINDOW	OPAQUE
W11	900	610	AWNING WINDOW	
W12	1500	1810	SLIDING WINDOW	
W13	900	1510	SLIDING WINDOW	OPAQUE
W14	1500	1810	SLIDING WINDOW	
W15	600	2410	SLIDING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT 12.5 BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING
ALL DOORS AND WINDOWS TO HAVE A HEAD HEIGHT OF 2160 U.N.O.



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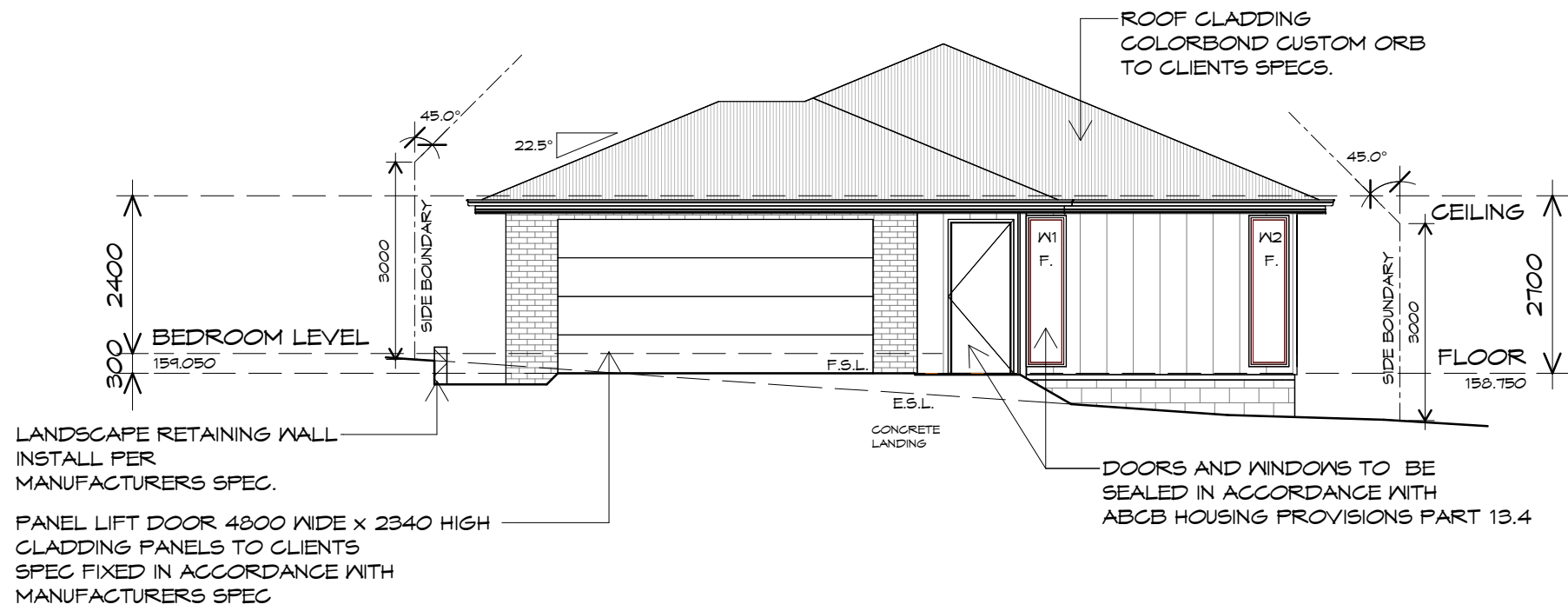
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Drawing:
DOOR AND WINDOW SCHEDULES

Date:	Drafted by:	Approved by:
17.03.2026	L.L.	M.R.

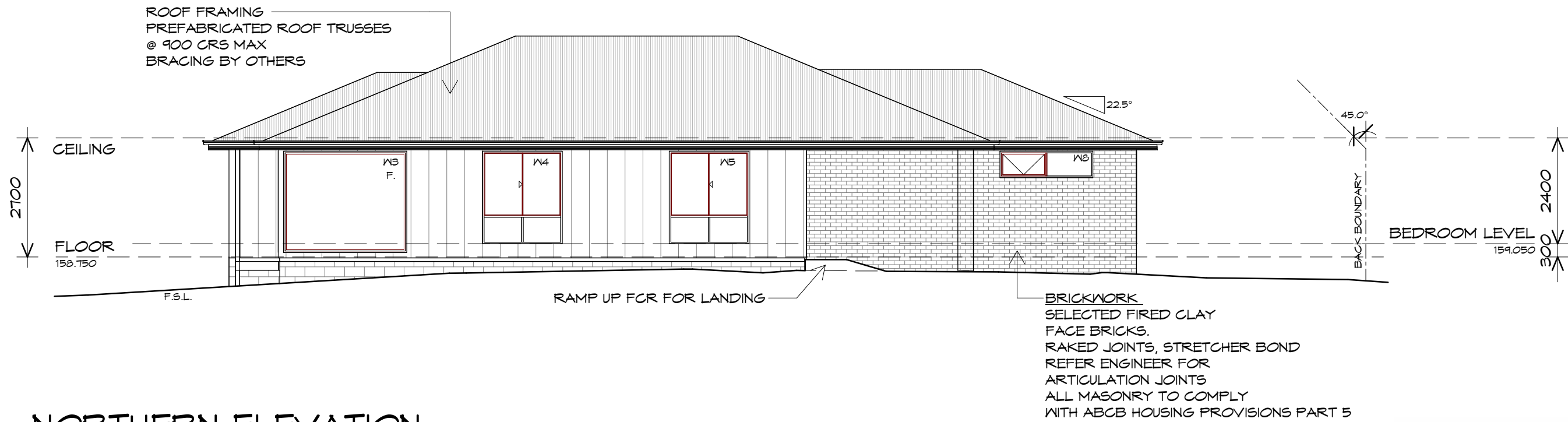
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PD25460 - 05		04

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EASTERN ELEVATION

1 : 100



NORTHERN ELEVATION

1 : 100



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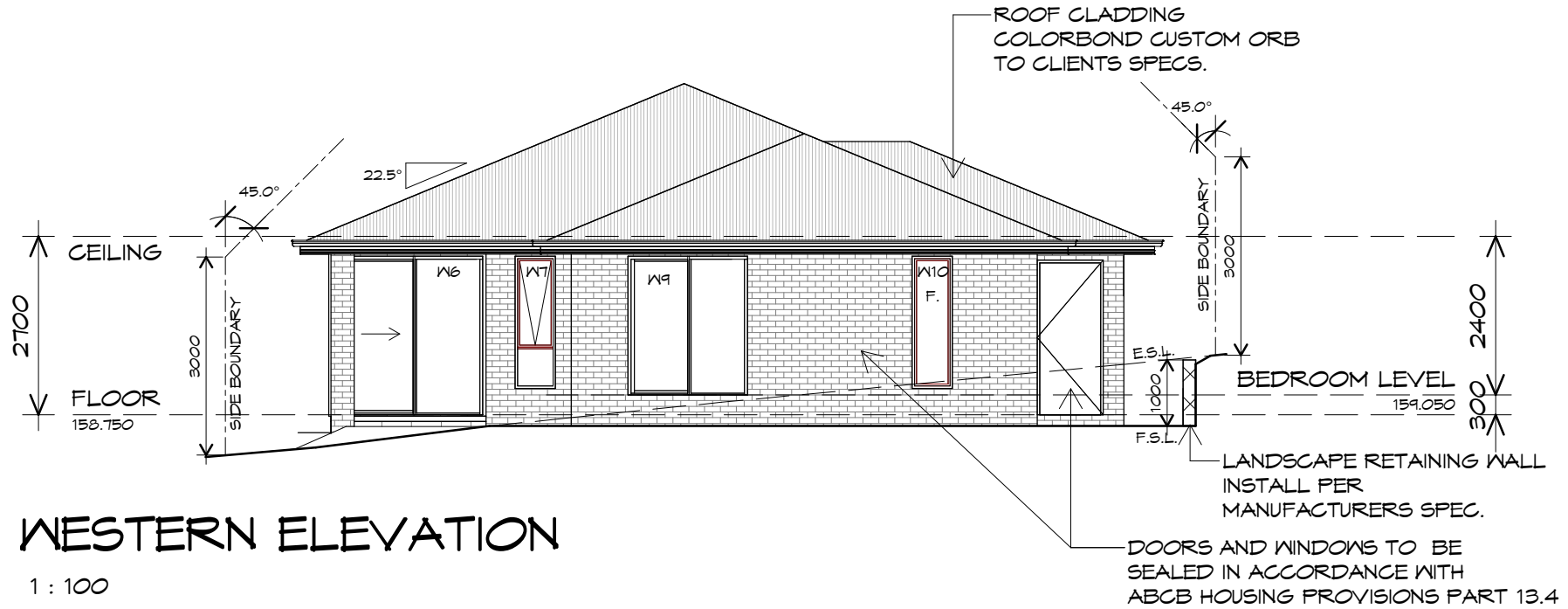
Drawing:
ELEVATIONS

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17.03.2026	L.L.	M.R.

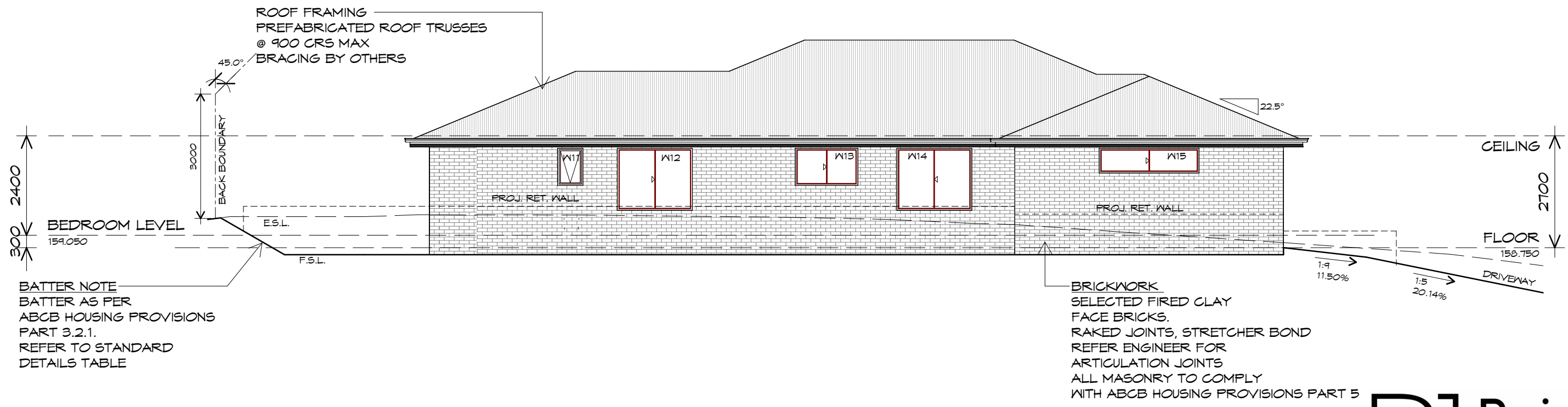
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WESTERN ELEVATION
1 : 100



SOUTHERN ELEVATION
1 : 100



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ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
AS33500.3:2021

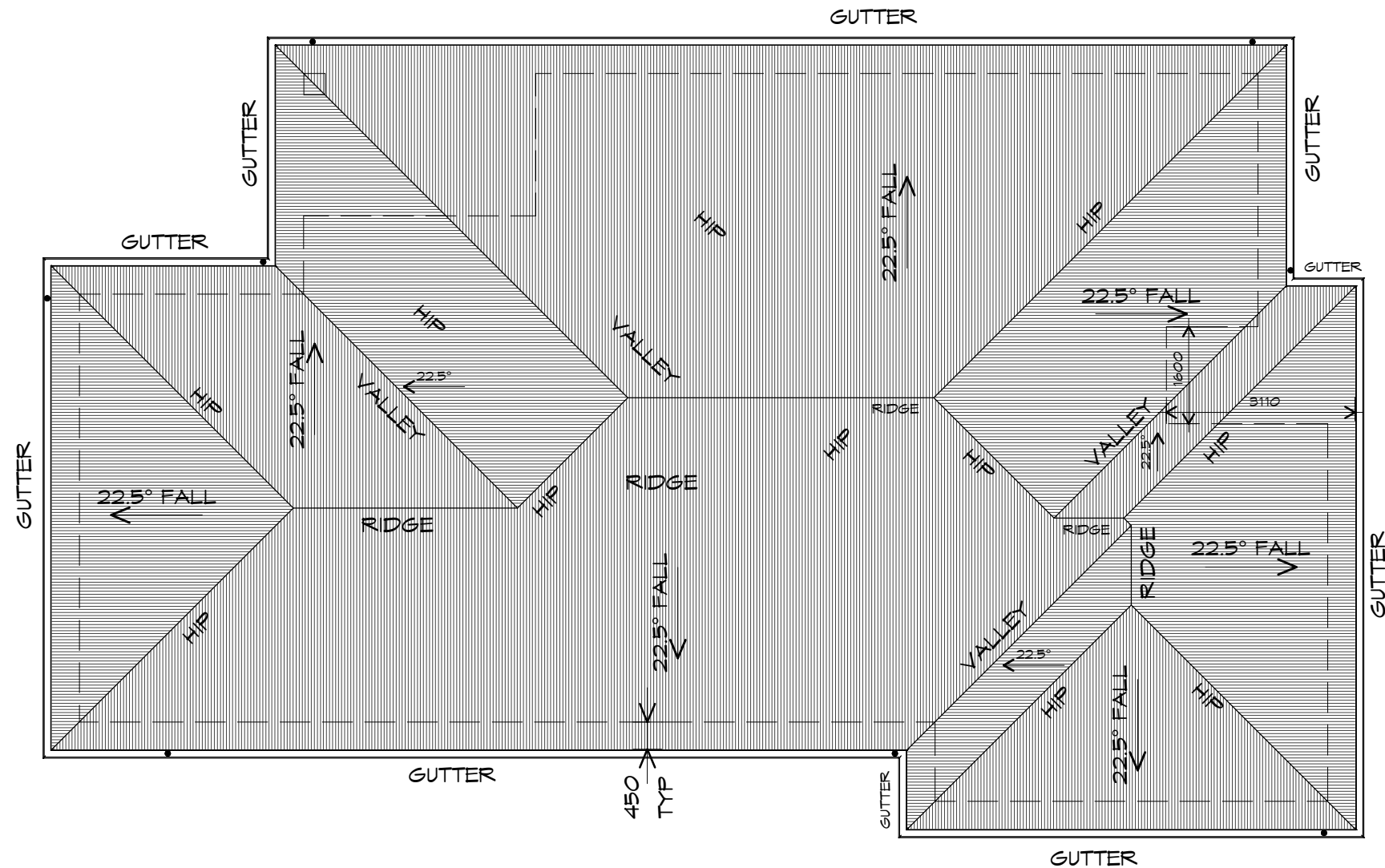
UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

**DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.**
EXACT LOCATION & NUMBER OF D.P'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

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ROOF PLAN

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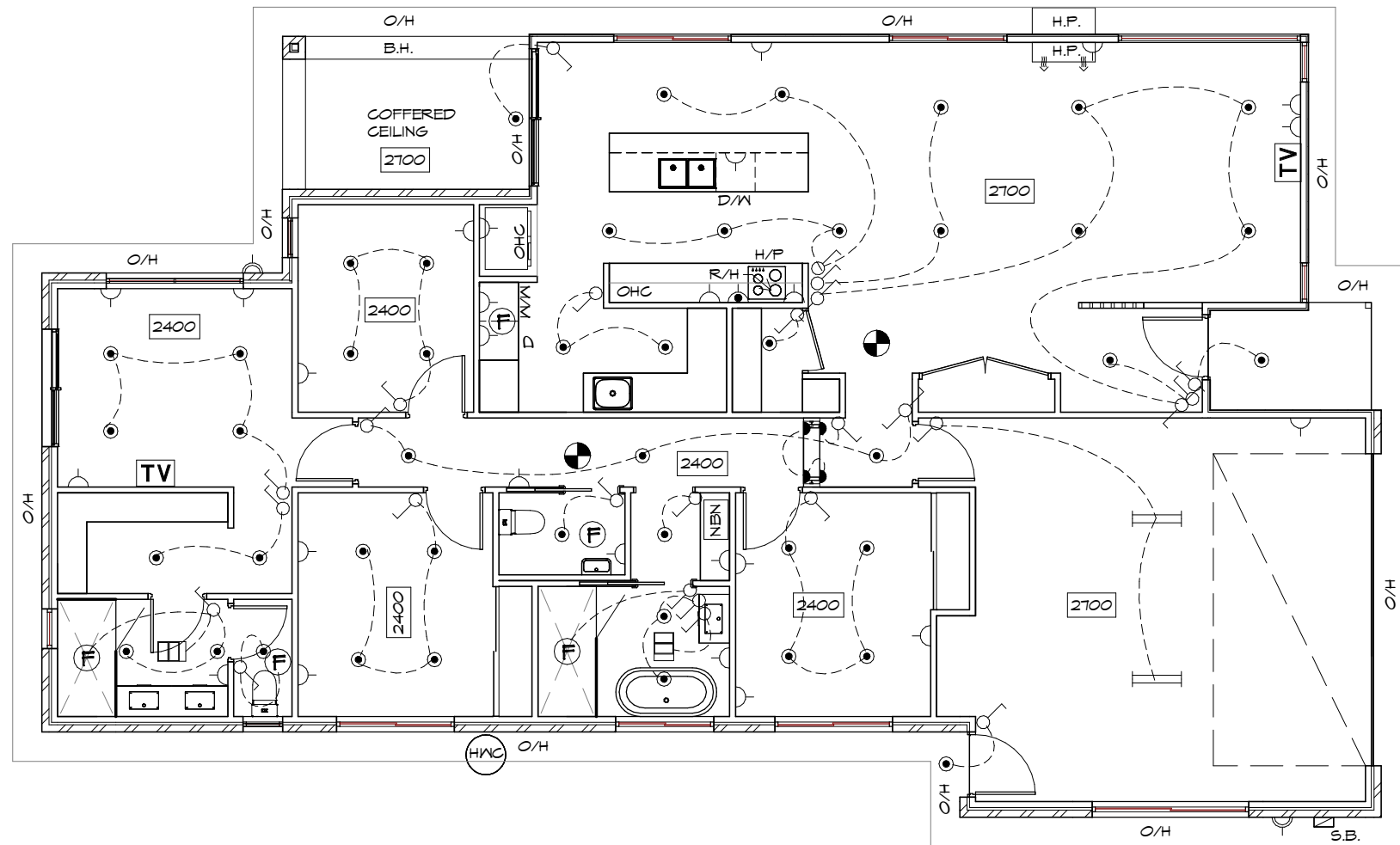


Date: 17.03.2026	Drafted by: L.L.	Approved by: M.R.
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ELECTRICAL INDEX

LIGHTING

- ☐ IXL TASTIC LIGHT
 - L.E.D. - SEALED DOWN LIGHT *
 - ▬ TWIN TUBE FLUORESCENT LIGHT
 - ▲ STAIR LIGHT
- *INSTALL AS PER MANUFACTURERS SPECIFICATION

SWITCH TYPE

- ⚡ ONE-WAY SWITCH
- ⚡ TWO-WAY SWITCH

WALL OUTLETS

- ⌋ GENERAL PURPOSE OUTLET (DOUBLE)
- ⌋ WEATHER PROOF OUTLET
- ⌋ HOTPLATE SAFETY CUT-OFF
- TV T.V. OUTLET

NOTE:
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

OTHER

- ⊕ 240V SMOKE ALARM
- ☑ SWITCH BOX
- ⊖ EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- R/H RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

CEILING

- XXXX DENOTES CEILING HEIGHT
- O/H ROOF OVERHANG/EAVES

HEATING

- H.P. [Symbol] HEAT PUMP
- H.P. [Symbol] HEAT PUMP, OUTDOOR UNIT

ELECTRICAL/REFLECTED CEILING PLAN

1 : 100

IMPORTANT:

PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS. ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT. IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

ARTIFICIAL LIGHTING

RESIDENCES TO BE IN COMPLIANCE WITH NCC 2019 PART 3.12.5.5.

ARTIFICIAL LIGHTING MUST NOT EXCEED:

- 5W/m2 FOR CLASS 1 BUILDING
- 4W/m2 FOR VERANDAHS & BALCONIES
- 3W/m2 FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.

EXHAUST FANS

EXHAUST FANS TO ACHIEVE FLOW RATE TO COMPLY WITH HOUSING PROVISIONS 10.8.2

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - 12.5 REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.

ELECTRICAL

ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000

BATHROOMS WITHOUT NATURAL VENTILATION

EXHAUST FAN WITH 10 MINUTE TIMED FAN CONNECTED TO LIGHT SWITCH. UNDERCUT DOOR 20mm TO PROVIDE MAKE UP AIR, TO COMPLY WITH HOUSING PROVISIONS 10.8.2

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bdoo
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

NOT FOR CONSTRUCTION

REV. DATE	DESCRIPTION

Client name:
JOSCON TAS

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
46 WALLCREST ROAD,
BERRIEDALE

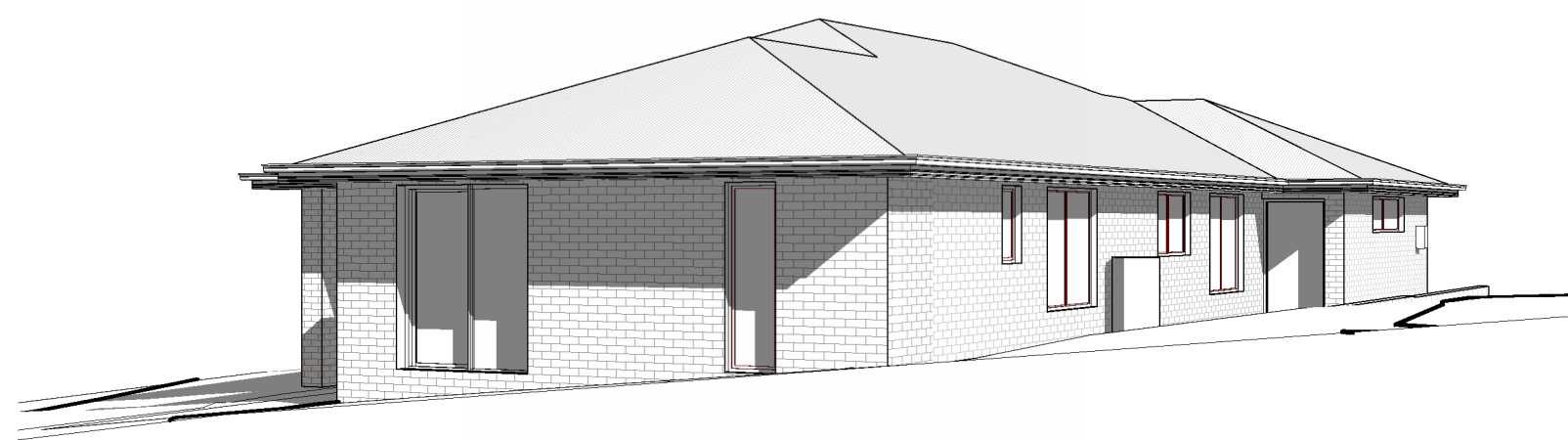
Drawing:
ELECTRICAL/REFLECTED CEILING PLAN

Date:	Drafted by:	Approved by:
17.03.2026	L.L.	M.R.

Project/Drawing no:	Scale:	Revision:
PD25460 - 09	1 : 100	04

Accredited building practitioner: Frank Geskus - No CC246A
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
 APPLICATION No PLN-26-068
 DATE RECEIVED 25-03-2026



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JOSCON
TASMANIA

NOT FOR CONSTRUCTION

REV. DATE	DESCRIPTION
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Client name:
JOSCON TAS

PLANNING
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Project:
PROPOSED NEW RESIDENCE
46 WALLCREST ROAD,
BERRIEDALE

Drawing:
PERSPECTIVES

Date: 17.03.2026	Drafted by: L.L.	Approved by: M.R.
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Project/Drawing no: PD25460 - 10	Scale:	Revision: 04
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