

24 March 2026

Att: Planning Department
Glenorchy City Council

Dear Sir/Madam,

54 Kiewa Rise, Lenah Valley
New residential dwelling development

Please find enclosed application for development for a single residential dwelling development at 54 Kiewa Rise, Lenah Valley. In support of this application the following documents are provided:

- Title documents
- DA plans

10.0 Low Density Residential Zone

10.1 Zone Purpose

- 10.1.1 The proposal is for the construction of a single residential dwelling located on a lot with full infrastructure and services available.
- 10.1.2 NA

10.2 Use Table

A single residential dwelling is a no permit, permitted or discretionary use. Our assessment of the development, as below, assess this proposed development as a “discretionary” application.

10.4 Development Standards for Dwellings

- 10.4.1 Residential density for multiple dwellings
 - A1 NA
- 10.4.2 Building height
 - A1 The proposed dwelling has building height of <8500mm and complies with A1.
- 10.4.3 Setback
 - A1 The proposed dwelling set back is 8000mm from the frontage boundary and complies with A1.

- A2 The proposed dwelling setback is >5000mm from rear boundary and there is a retaining wall on the eastern side which is >1500mm from the side complying with A2. However, the side setback on the eastern side is <5000mm from the boundary and does not comply with A2. Therefore, it has been assessed as P2.
 - P2 The proposed dwelling does not cause any unreasonable loss of amenity to the adjoining property as the design follows the natural topography and shape of the site, which helps reduce visual impact and building bulk. The retaining wall is less than 1000mm in height and is located more than 1500 mm from the boundary, ensuring minimal visual and amenity impact to neighbouring properties. The height, bulk and form of the dwelling are consistent with surrounding development and do not adversely affect adjoining private open space or habitable room windows in terms of sunlight access and can meet the requirement to comply with P2.
- 10.4.4 Site coverage
- A1 The total site coverage for the development is 11.9% and complies.
- 10.4.5 Frontage fences for all dwellings
- A1(a) No front fencing is proposed as part of this application. A1 does not apply.

C2.0 Parking and Access Code

C2.5 Use Standards

- C2.5.1 Car parking numbers
 - A1 The proposed development is for a 3-bedroom dwelling with single garage and in accordance with Table C2.1, 2 car parking spaces are required. The proposed development provides for two car parking spaces and complies with A1.
- C2.5.2 Bicycle parking numbers
 - A1 NA
- C2.5.3 Motorcycle parking numbers
 - A1 NA
- C2.5.4 Loading Bays
 - A1 NA
- C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone
 - A1 NA

C2.6 Development Standards for Buildings and Works

- C2.6.1 Construction of parking areas
 - A1(a) & (c) The parking and driveway for the proposed dwelling will be constructed from concrete and complies with A1(a) & (c).
 - A1(b) The driveway is designed to be drained to the Council stormwater system and complies with A1(b).
- C2.6.2 Design and layout of parking areas

- A1.1 The driveway and parking areas have been designed to comply with AS2890- *Parking facilities Parts 1-6* and complies.
- A1.2 NA
- C2.6.3 Number of accesses for vehicles
- A1 One access has been designed for this proposal and complies with A1.
- A2 NA
- C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone
- A1 NA
- C2.6.5 Pedestrian access
- A1.1 NA
- C2.6.6 Loading bays
- A1 NA
- A2 NA
- C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone
- A1 NA
- A2 NA
- C2.6.8 Siting of parking and turning areas
- A1 NA

C7.0 Natural Assets Code – Priority Vegetation

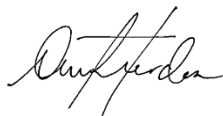
The proposed dwelling is located within a priority vegetation area, however, the code does not apply to development within a Low Density Residential unless for a subdivision. This code is not applicable to this application.

C13.0 Bushfire-Prone Areas Code

The proposed dwelling is located within the Bushfire-Prone Areas Code and will be constructed to the assessed BAL.

Please contact me via email should you require any additional information to assist Council's assessment of the application.

Yours faithfully
Cunic Homes



Domonee van Heerden
Planning & Building Manager