

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-178
PROPOSED DEVELOPMENT:	Multiple dwellings (Two existing and one new, conversion of existing outbuilding to unit)
LOCATION:	555 Main Road Montrose
APPLICANT:	D Clark
ADVERTISING START DATE:	19/05/2026
ADVERTISING EXPIRY DATE:	02/06/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **02.06.2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **02.06.2026**, or for postal and hand delivered representations, by 5.00 pm on **02.06.2026**.



DRAWING SCHEDULE

ARCHITECTURAL - PHILP LIGHTON ARCHITECTS

- A01 LOCATION PLAN
- A02 SITE PLAN
- A03 FLOOR PLAN
- A04 SLAB AND FOOTING DETAILS
- A05 ROOF FRAMING PLAN
- A06 ELEVATIONS
- A07 ELEVATIONS
- A08 SECTIONS
- A09 INTERNAL ELEVATIONS & DETAILS
- A10 3D VIEW 1
- A11 3D VIEW 2
- A12 SITE SECTION
- A14 EXISTING FLOOR PLAN UPPER
- A15 EXISTING FLOOR PLAN LOWER
- A16 SITE PLAN - PRIVATE OPEN SPACE
- A17 SOLAR STUDY 21 June 9am
- A18 SOLAR STUDY 21 June 12pm
- A19 SOLAR STUDY 21 June 3pm
- A20 C3.6.1 HABITABLE BUILDINGS FOR SENSITIVE USES WITHIN A ROAD OR RAILWAY ATTENUATION AREA
- A21 DECK SCREENING ELEVATION Clause 9.4.6 A2.
- A22 SITE PLAN - STORM WATER CONCEPT
- A23 ELEVATION - ENTRY HOUSE 2

SITE INFORMATION

ADDRESS: 555 MAIN ROAD,
MONTROSE, TAS 7010

DESIGNER: PETER GAGGIN CC 997A
PHILP LIGHTON ARCHITECTS PTY LTD

LOT NUMBER: 1

SITE AREA: 1812m²

TITLE REFERENCE: 5778/1

ZONING: 10.0 GENERAL RESIDENTIAL

OVERLAY: WATERWAY AND COASTAL
PROTECTION AREAS (118.WCP)

LOCAL AUTHORITY: GLENORCHY CITY COUNCIL

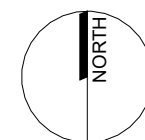
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-178

DATE RECEIVED: 6 May 2026

001.19135
SALTER HOUSE - NEW DWELLING
555 MAIN ROAD MONTROSE

TASMANIA 7010

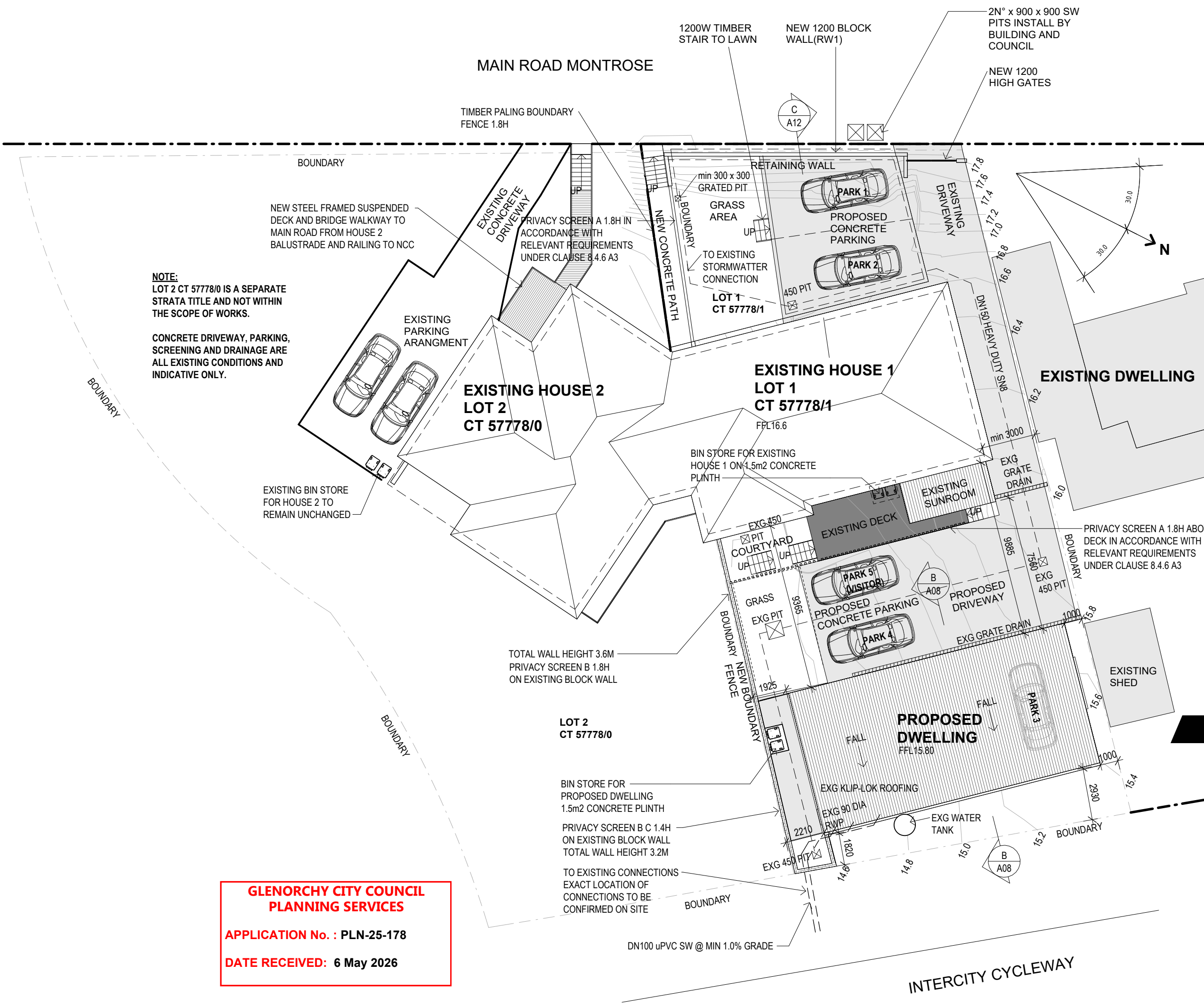


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30/04/25

REV E

A01



NOTE:
 LOT 2 CT 57778/0 IS A SEPARATE STRATA TITLE AND NOT WITHIN THE SCOPE OF WORKS.

CONCRETE DRIVEWAY, PARKING, SCREENING AND DRAINAGE ARE ALL EXISTING CONDITIONS AND INDICATIVE ONLY.

**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**

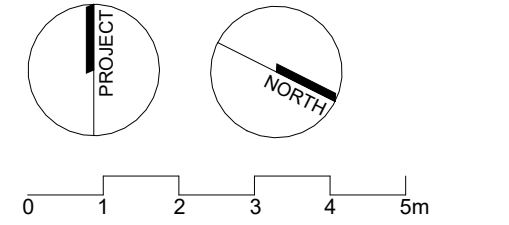
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INFORMATION

PLANNING	
SETBACKS FRONT	4.5m
AREA	
EXG HOUSE 1 FOOTPRINT	142m ²
SITE AREA	375m ²
EXG HOUSE 2 FOOTPRINT	147m ²
SITE AREA	1109m ²
NEW DWELLING FOOTPRINT	110m ²
SITE AREA	327m ²
SITE COVER	
SITE AREA APPROX.	1812m ²
SITE COVERAGE	399m ²
COVERAGE %	22.1%
SCHEME ALLOWANCE	50%
IMPERVIOUS AREA	
IMPERVIOUS COVERAGE	42.2%
SCHEME ALLOWANCE	75%
PARKING	
2 PARKS RETAINED FOR EXISTING 1	
2 PARKS RETAINED FOR EXISTING 2	
2 PARKS FOR PROPOSED	
1 VISITOR PARK	

REV	DESCRIPTION	DWN	DATE
D	COUNCIL RFI 3	BF	22.04.26
C	COUNCIL RFI 2	BF	13.11.25
B	COMPLIANCE	BT	30.04.25
A	GENERAL REVISIONS	MS	13.02.24

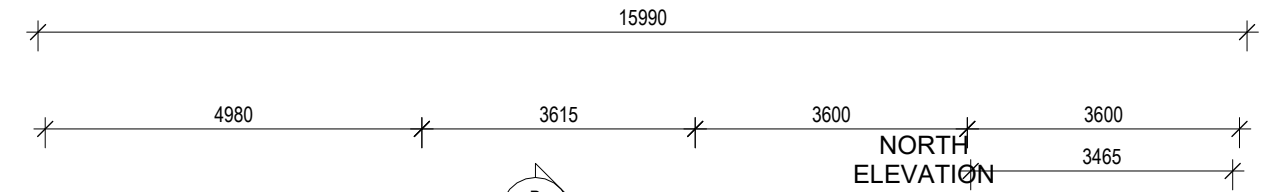


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Project **SALTER HOUSE - NEW DWELLING**
555 MAIN ROAD MONTROSE
 555 Main Road
 Montrose TAS

Title		SITE PLAN	
Drawn by	BT	Appr	PG
Scale	1 : 200 @ A3	Date	30/04/25
Drawing No	A02	Project Number	001.19135
		Rev	E

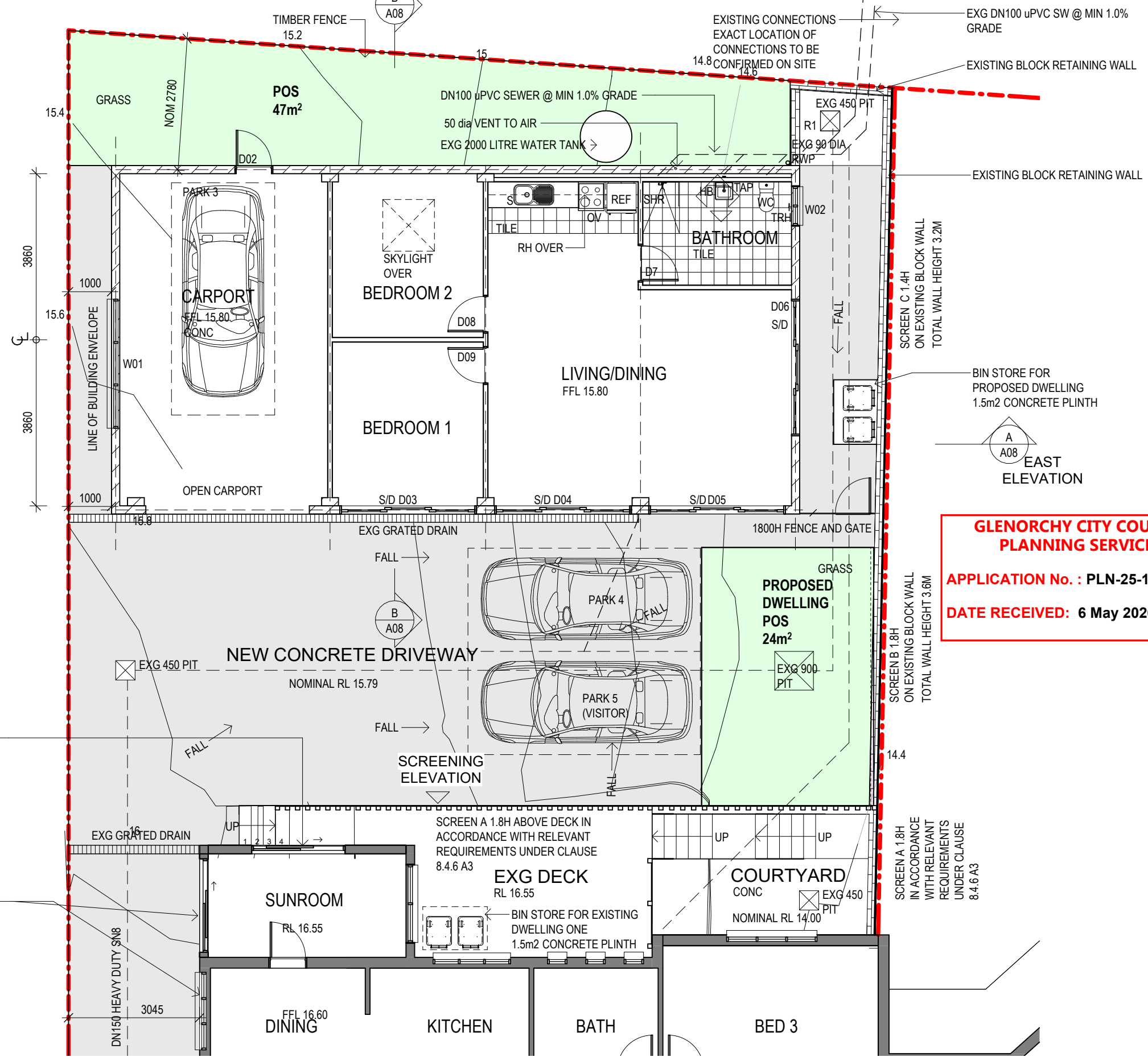


NOTE:
 REFER DRAWING 002 UPGRADE 555 MAIN RD,
 ROSETTA STORMWATER AND SEWER
 UPGRADE TO PVC FOR EXACT SERVICES
 LOCATION

- LEGEND**
- HB HAND BASIN
 - OV OVEN
 - REF REFRIGERATOR
 - S SINK
 - SHR SHOWER
 - TAP TAPWARE
 - TRH TOILET ROLL HOLDER
 - WC TOILET SUITE

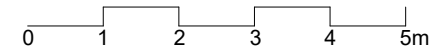
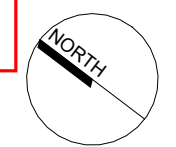
FLOOR AREA 110m²

- SCREEN A** STEEL FRAMED 1800 HIGH
 75 x 22 TIMBER SLATS - PAINT
 22 SPACERS
 SCREEN TO TOP OF RENDERED
 RETAINING WALL
- SCREEN B** ALUMINIUM POST FRAMED 1800 HIGH
 75 x 22 TIMBER SLATS - PAINTED
 22 SPACERS
 DYNABOLT TO TOP OF RENDERED RETAINING WALL
- SCREEN C** AS FOR SCREEN B BUT 1400mm HIGH ABOVE TOP
 OF RETAINING WALL



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Title **FLOOR PLAN**

Drawn by	BF	Appr	PG	Project Number
Scale	1 : 100 @ A3	Date	30/04/25	001.19135
Drawing No	A03	Rev	D	

APPLY FROSTING TO GLAZING IN ACCORDANCE WITH RELEVANT REQUIREMENTS UNDER CLAUSE 8.4.6 A3(I)

APPLY FROSTING TO GLAZING IN ACCORDANCE WITH RELEVANT REQUIREMENTS UNDER CLAUSE 8.4.6 P3

SCREEN A 1.8H ABOVE DECK IN ACCORDANCE WITH RELEVANT REQUIREMENTS UNDER CLAUSE 8.4.6 A3

SCREEN B 1.8H ON EXISTING BLOCK WALL TOTAL WALL HEIGHT 3.6M

SCREEN C 1.4H ON EXISTING BLOCK WALL TOTAL WALL HEIGHT 3.2M

SCREEN A 1.8H IN ACCORDANCE WITH RELEVANT REQUIREMENTS UNDER CLAUSE 8.4.6 A3

LEGEND

SF1 500 DEEP X 450 WIDE STRIP FOOTING. 4 - 12 TOP AND BOTTOM + N12 INTO BLOCK OVER, EACH CORNER AND MAX 1800 CRS. N12 - 400 INTO SLAB OVER
 TH1 500 DEEP 450 WIDE 4 - 12 TOP AND BOTTOM. N12 - 400 INTO SLAB OVER (OR POURED WITH SLAB) MUST TIE SF1 AND TH1 TOGETHER WITH 4/N12 TOP AND BOTTOM

PF1 450 DIA BORED PIER TO APPROVED BASE. N16 CENTRAL

SF2 400 DEEP X 450 WIDE 4/N12 TOP AND BOTTOM + 400 INTO BLOCK WALL OVER

- CORE FILL BLOCK AND N12 - 400 INTO BONDEK SLAB

RW1 N20 - 400 STARTER BARS MAX 2200 RETAINING (2200 - 3000 290 BLOCK)

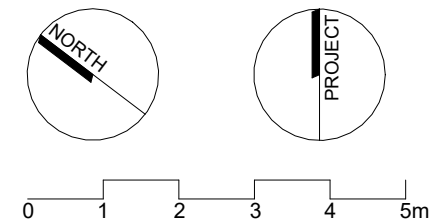
FOOTING 300 DEEP + WIDTH = 2/3 HEIGHT OF WALL. N12 - 200 TOP AND BOTTOM + N12 - 400 INTO SLAB OVER

CONCRETE STAIR - 150 THICK THROAT N12 BARS @ 400CRS EACH WAY TO BOTTOM. MIN 50 COVER. DRILL N12 DOWELS INTO BLOCK WALL 400 LONG AT 400 CRS

150 = 150 BONDEK SLAB SL 82 TOP

125 = 125 SLAB ON GROUND SL 82 TOP

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Project **SALTER HOUSE - NEW DWELLING**
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 555 Main Road
 Montrose TAS

Title **SLAB AND FOOTING DETAILS**

Drawn by	Author	Appr/Approver	Project Number
Scale	1 : 100 @ A3	Date 30/04/25	001.19135
Drawing No	A04		Rev E

- GENERAL NOTES:**
1. ALL CONCRETE MATERIALS AND CONSTRUCTION TO AS3600
 2. CONCRETE N25 @ 28 DAYS
 3. ALL SLABS TO BE ON FORTECON, 25mm SAND BLINDING & A MIN OF 100mm FCR
 4. ALL FILL TO BE ENGINEER GRADE & PLACED IN LAYERS (300 MAX) AND COMPACTED TO MIN
 5. REINFORCING AT INTERSECTIONS & STEPS TO BE AS PER AS2870

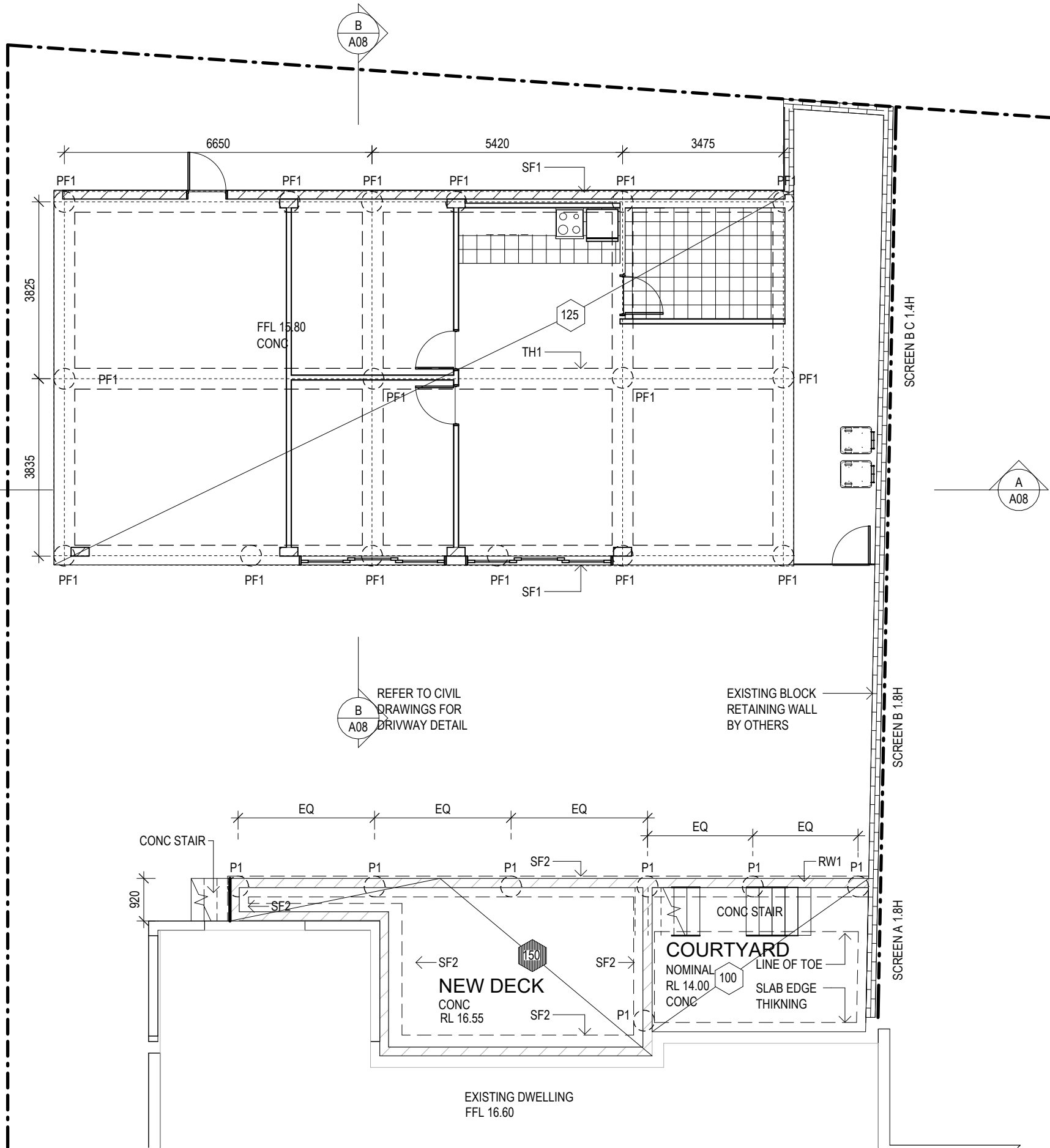
ALL FOOTINGS TO BE CONSTRUCTED AND REINFORCING TO BE PLACE AND TIED IN ACCORDANCE WITH AS2870

FLOOR AREA 110m²

SCREEN A STEEL FRAMED 1800 HIGH
 75 x 22 TIMBER SLATS - PAINT
 22 SPACERS
 SCREEN TO TOP OF RENDERED RETAINING WALL

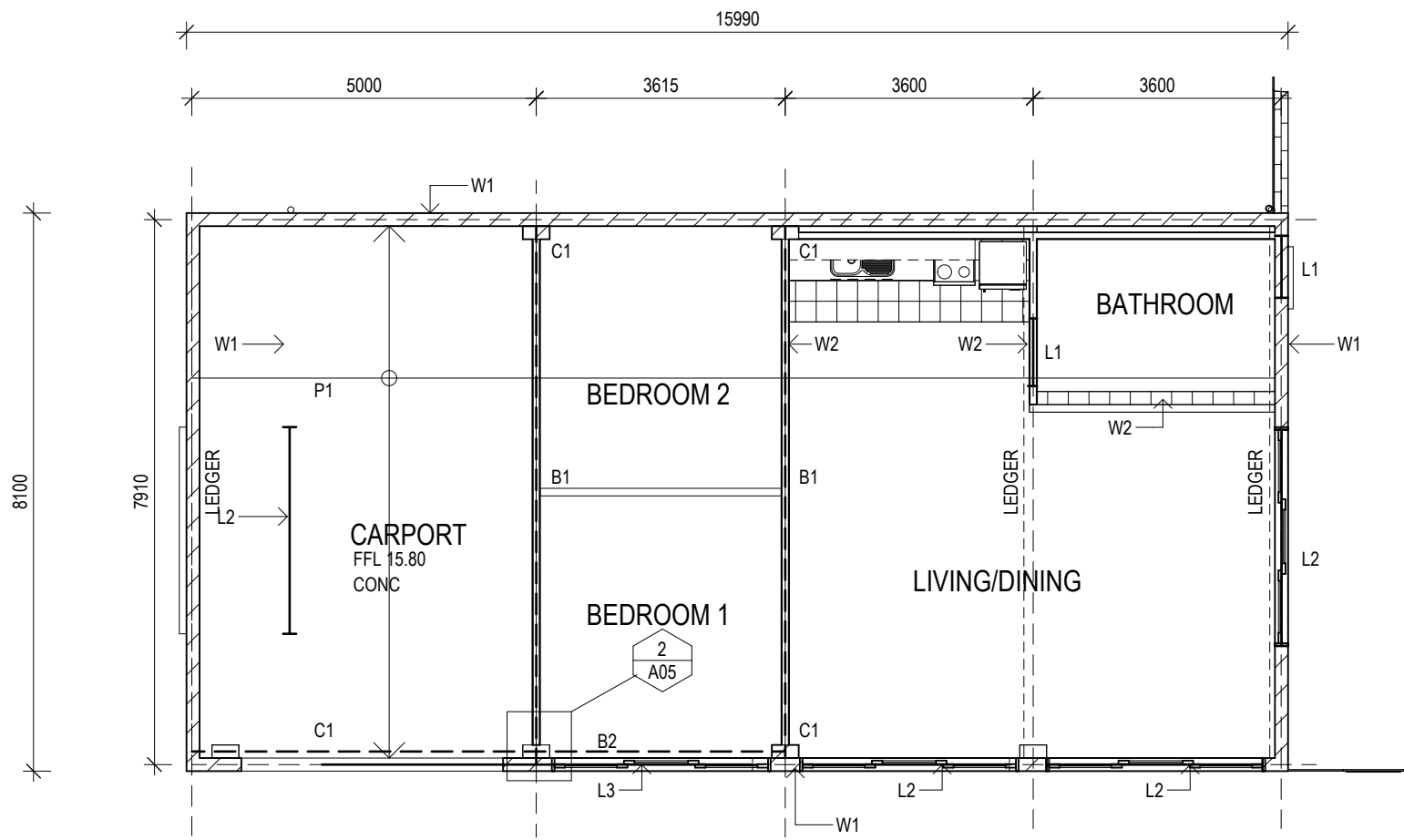
SCREEN B ALUMINIUM POST FRAMED 1800 HIGH
 75 x 22 TIMBER SLATS - PAINTED
 22 SPACERS
 DYNABOLT TO TOP OF RENDERED RETAINING WALL

SCREEN C AS FOR SCREEN B BUT 1400mm HIGH ABOVE TOP OF RETAINING WALL



1 **SLAB PLAN**
 A06 1 : 100

GLENORCHY CITY COUNCIL PLANNING SERVICES
APPLICATION No. : PLN-25-178
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**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**

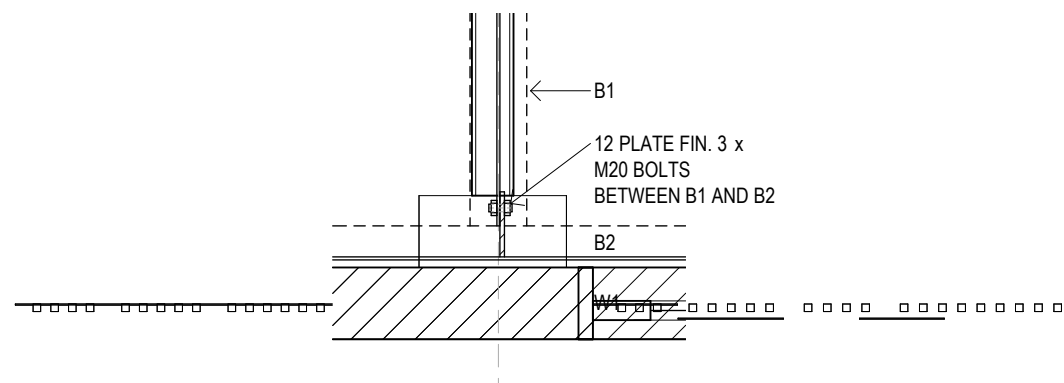
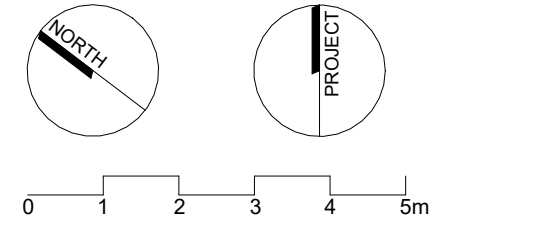
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LEGEND

- W1 - 190 CORE FILLED MASONRY BLOCK WALL
REFER MANUFACTURERS INSTALATION
REINFORCING MANUAL
- W2 - 140 CORE FILLED MASONRY BLOCK WALL
REFER MANUFACTURERS INSTALATION
REINFORCING MANUAL
- L1 - MIN 190 CONCRETE LINTEL 1 N12 BOTTOM
- L2 - MIN 390 CONCRETE LINTEL 1 N16 TOP AND BOTTOM
- L3 - MIN 390 CONCRETE LINTEL N20 TOP AND BOTTOM
+ N12 LIGS @ 400CRS
- BEAM TO BE FIXED TO C1 WITH 4/M16 CAST IN
BOLTS, 2 EACH SIDE OR 2/M20
- B1- 310UB32
- B2 - 250PFC
- C1 190 x 390 CORE FILLED BLOCK COLUMN 2/ N12
- P1 - 140 x 35 F17 BATTENS @ MAX 1800 CRS FIX
TO STEEL BEAMS WITH 2 x M12 BOLTS. LEDGER
TO BOLT TO BLOCK AND CONCRETE HEADER
BEAM, M12 - 900CRS - P1 TO STRAP TO LEDGER

REV	DESCRIPTION	DWN	DATE
B	COUNCIL RFI 3	BF	22.04.26
A	COUNCIL RFI 2	BF	13.11.25



1 ROOF STRUCTURE
1 : 100

2 CONNECTION DETAIL
A05 1 : 20

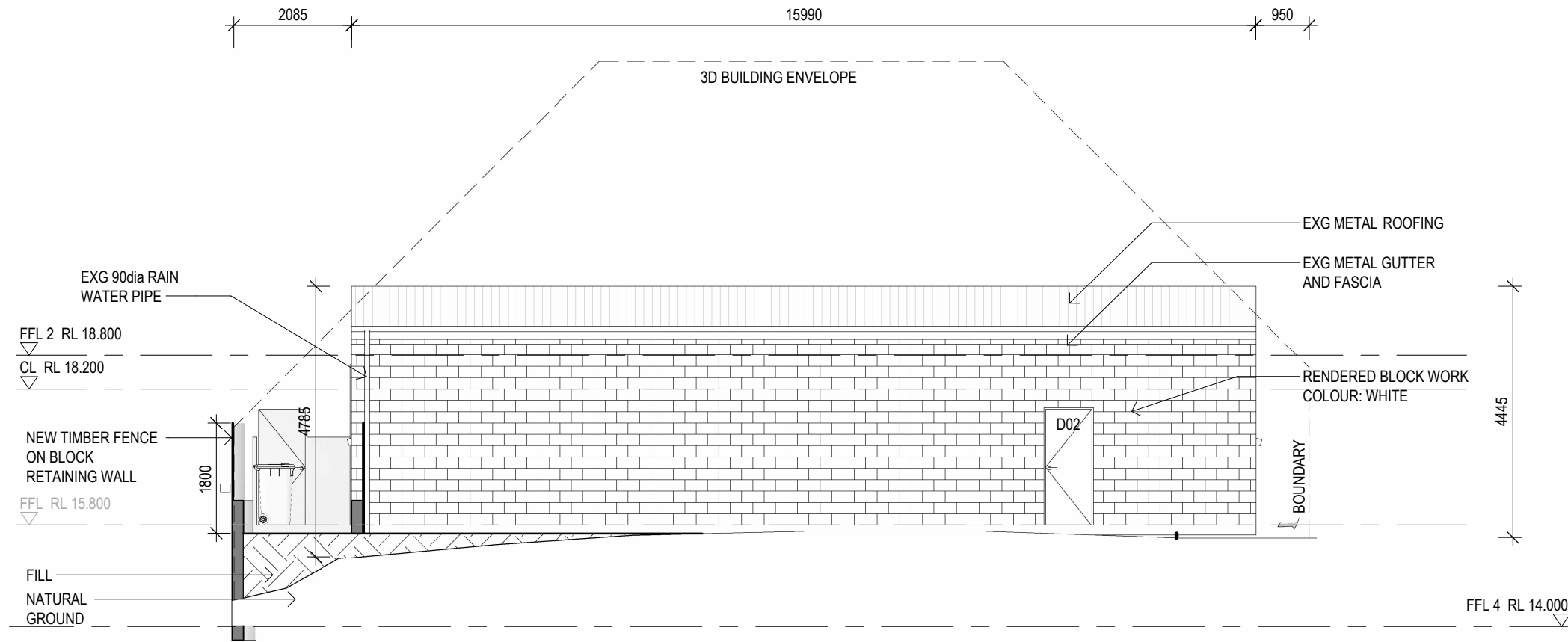
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Project **SALTER HOUSE - NEW DWELLING**
555 MAIN ROAD MONTROSE
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Title **ROOF FRAMING PLAN**

Drawn by	Author	Appr/Approver	Project Number
Scale indicated @ A3	Date 30/04/25	001.19135	
Drawing No	A05		Rev E

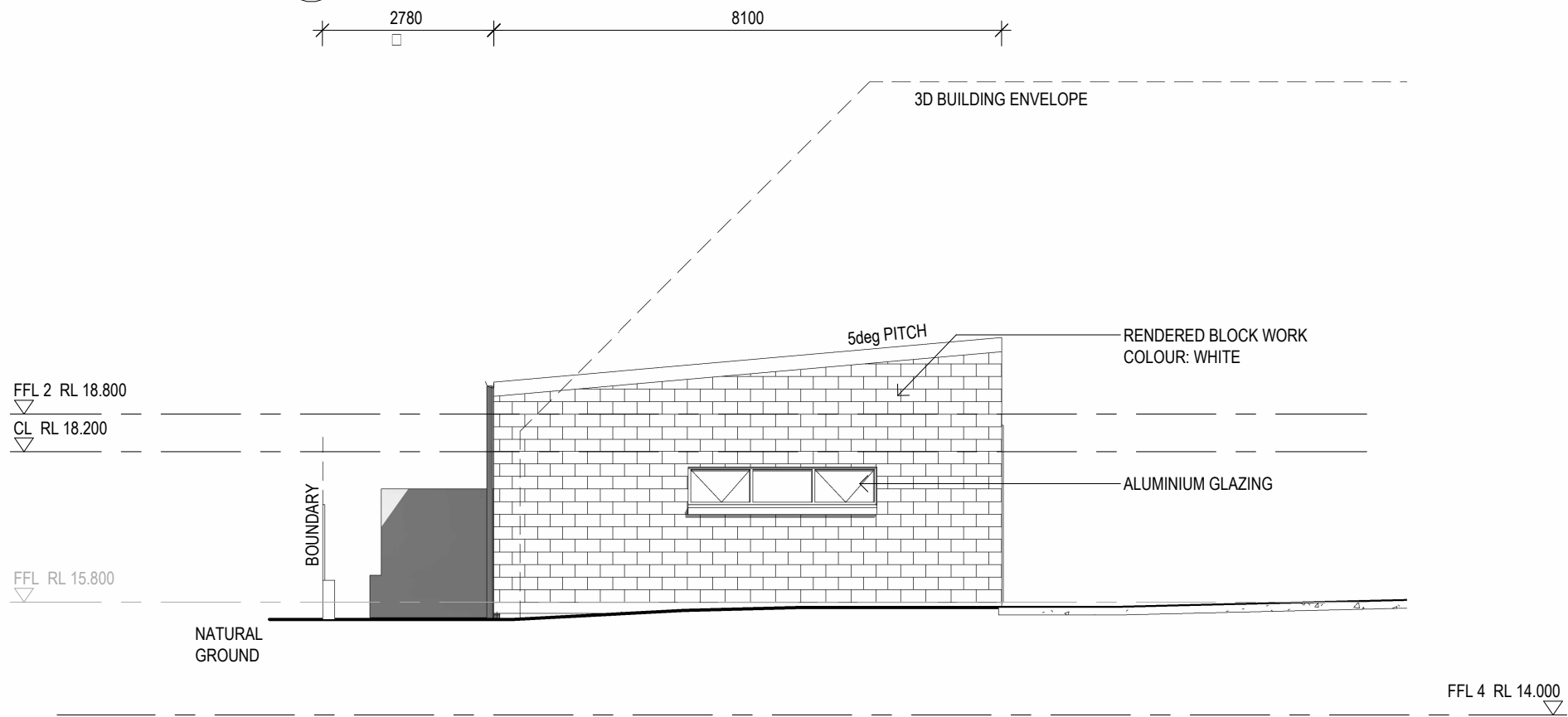


**GLENORCHY CITY COUNCIL
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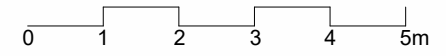
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1 NORTH ELEVATION
 A03 1:100



4 WEST ELEVATION
 A03 1:100

REV	DESCRIPTION	DWN	DATE
B	COUNCIL RFI 3	BF	22.04.26
A	COUNCIL RFI 2	BF	13.11.25



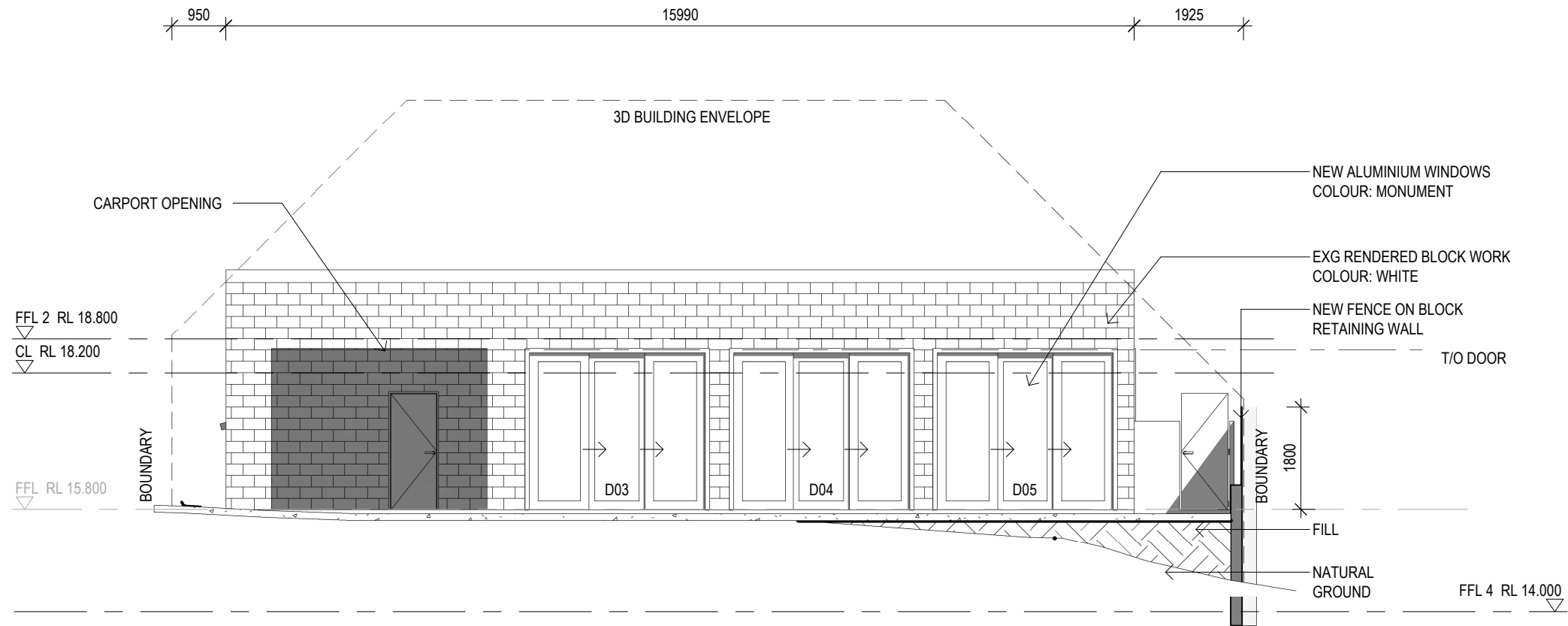
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Title **ELEVATIONS**

Drawn by	Author	Appr/Approver	Project Number
Scale	1:100 @ A3	Date 30/04/25	001.19135
Drawing No	A06		Rev E



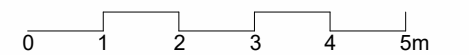
**GLENORCHY CITY COUNCIL
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1 SOUTH ELEVATION
1:100

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A	GENERAL REVISIONS	MS	13.02.24



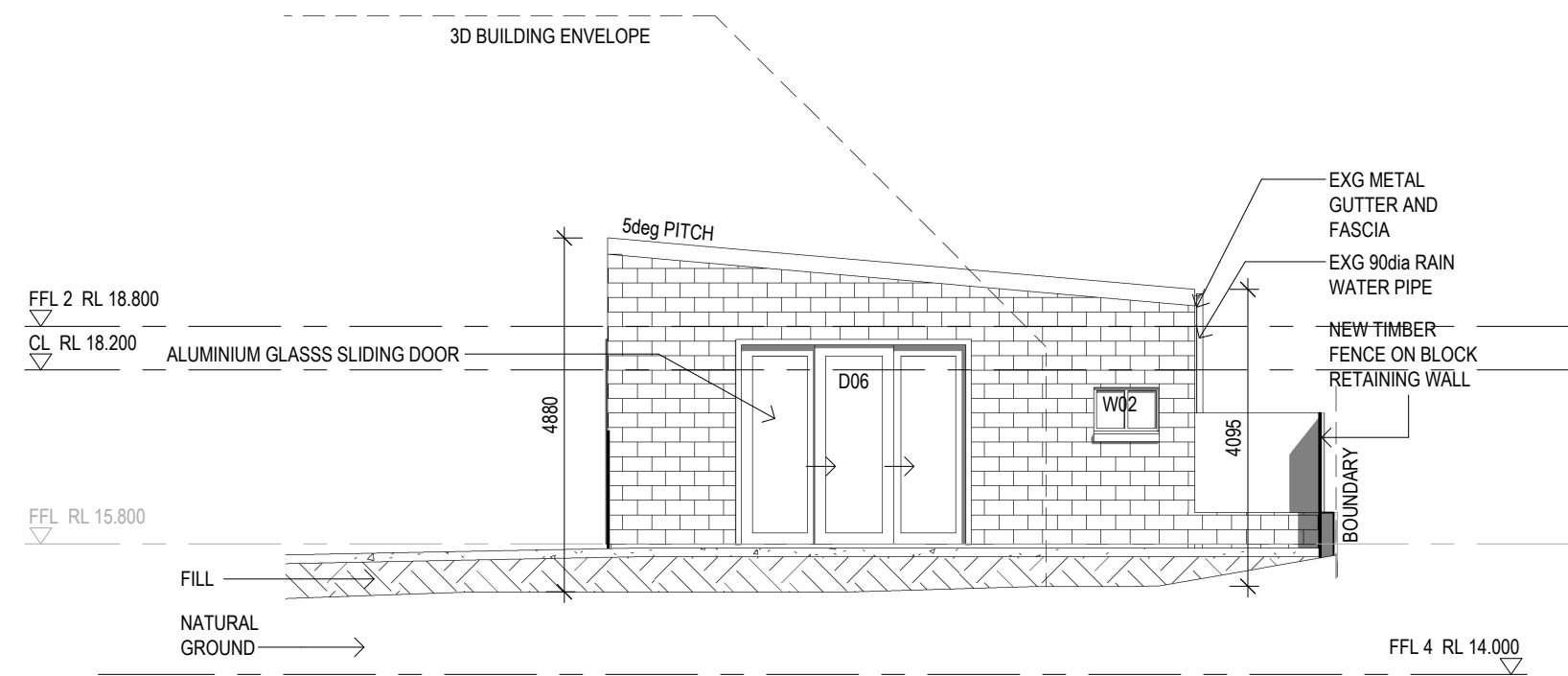
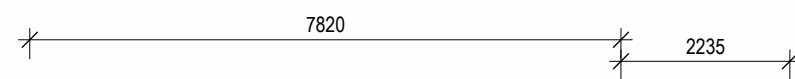
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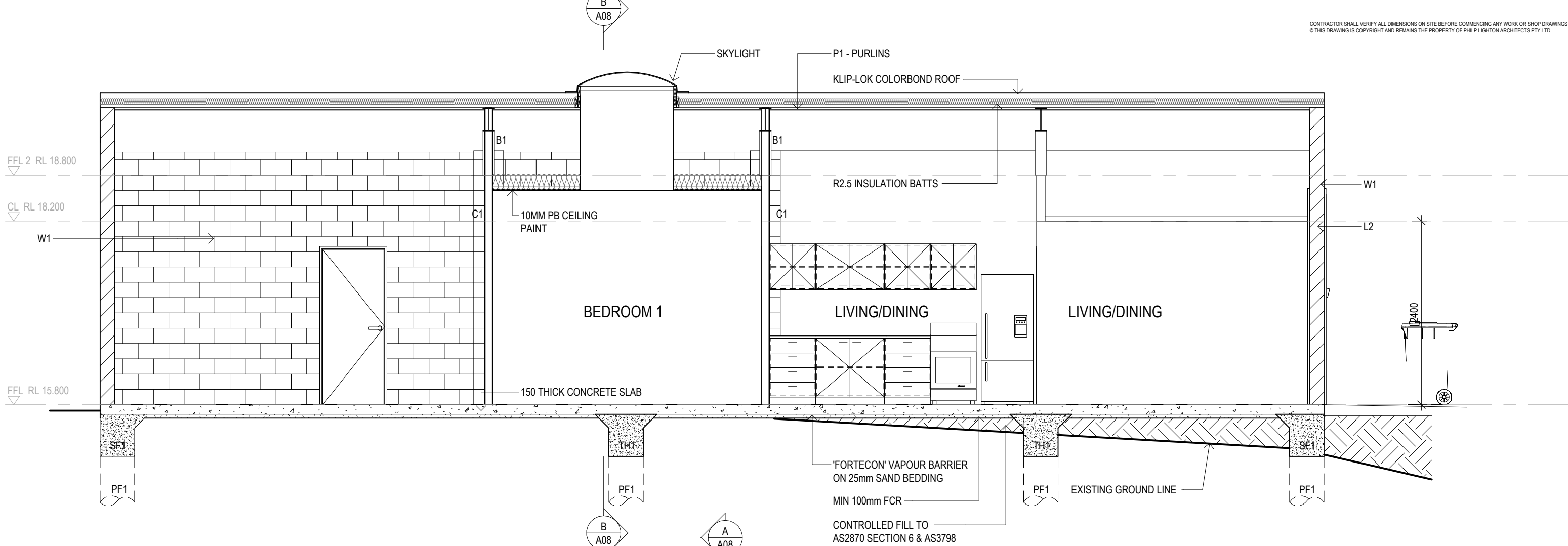
Project **SALTER HOUSE - NEW DWELLING**
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Title **ELEVATIONS**

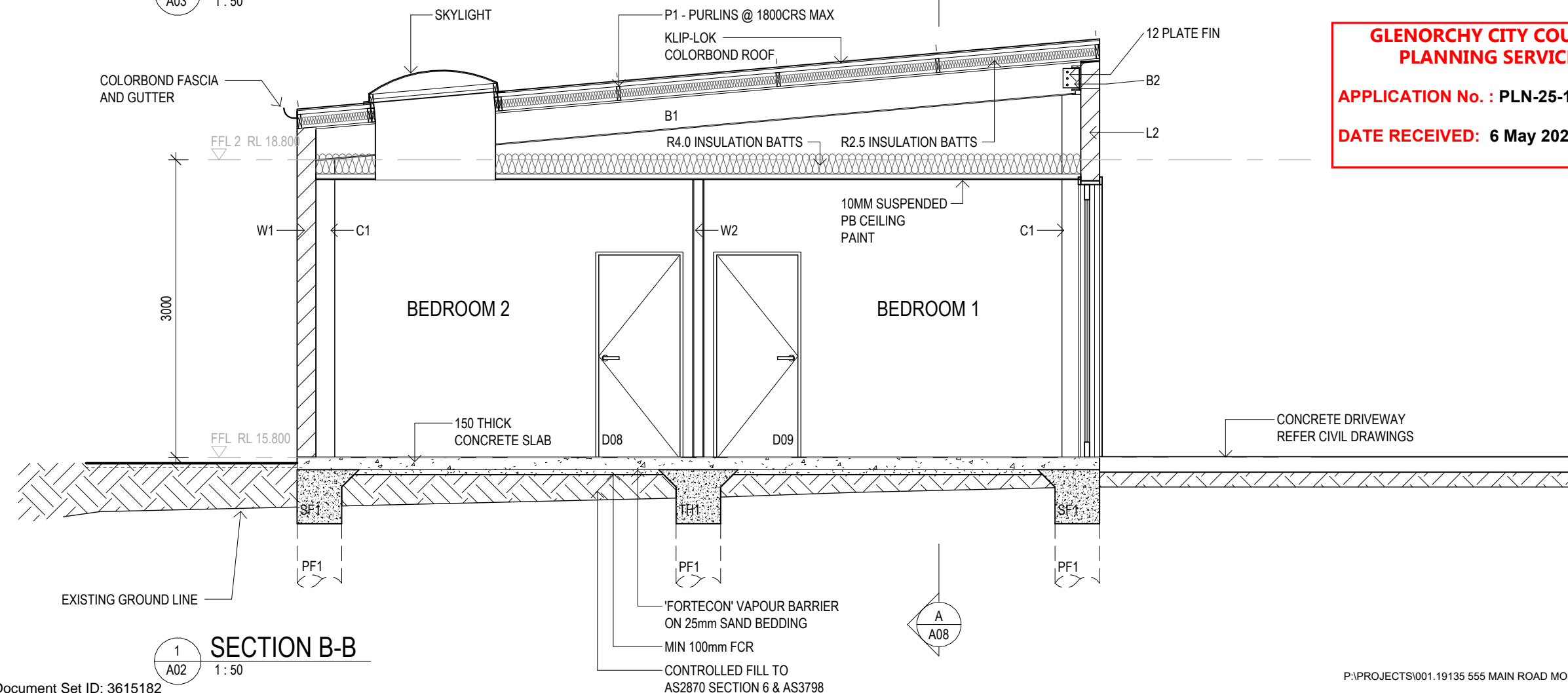
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Scale	1:100 @ A3	Date	30/04/25	001.19135
Drawing No	A07	Rev	C	



2 EAST ELEVATION
A03 1:100



2 SECTION A-A
 A03 1:50



1 SECTION B-B
 A02 1:50

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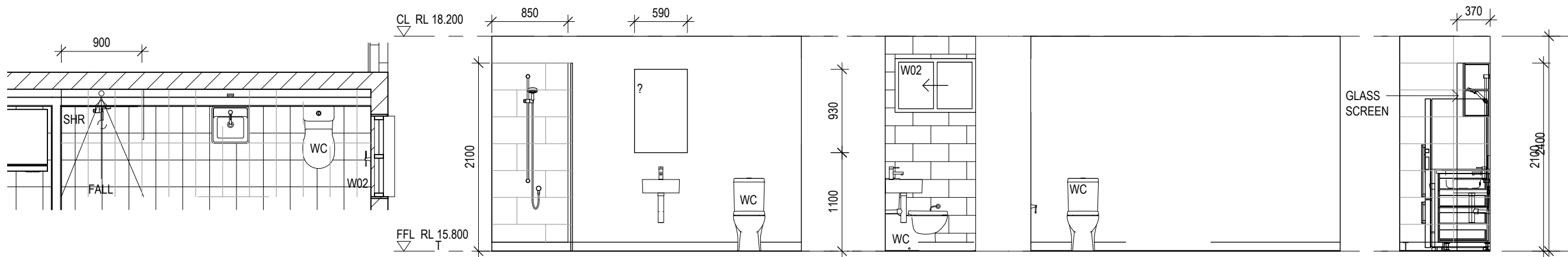
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Title **SECTIONS**

Drawn by	BF	Appr	PG	Project Number
Scale	1:50 @ A3	Date	30/04/25	001.19135
Drawing No	A08	Rev	D	



LEGEND
 T TILE
 SHR SHOWER
 WC TOILET SUITE

5 BATHROOM - PLAN
1:50

N BATHROOM 1
1:50

S BATHROOM 2
1:50

S ELEVATION 3
1:50

W ELEVATION 4
1:50

MASONRY NOTES:

RETAINING WALLS

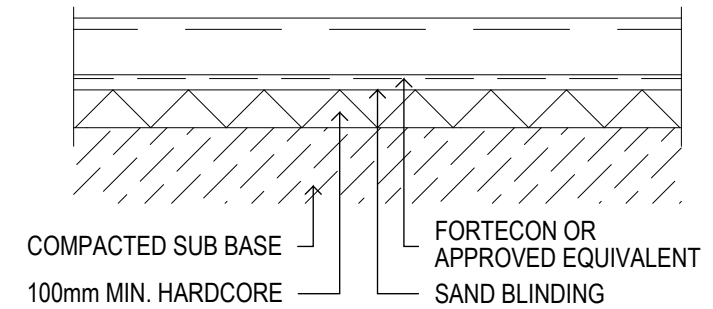
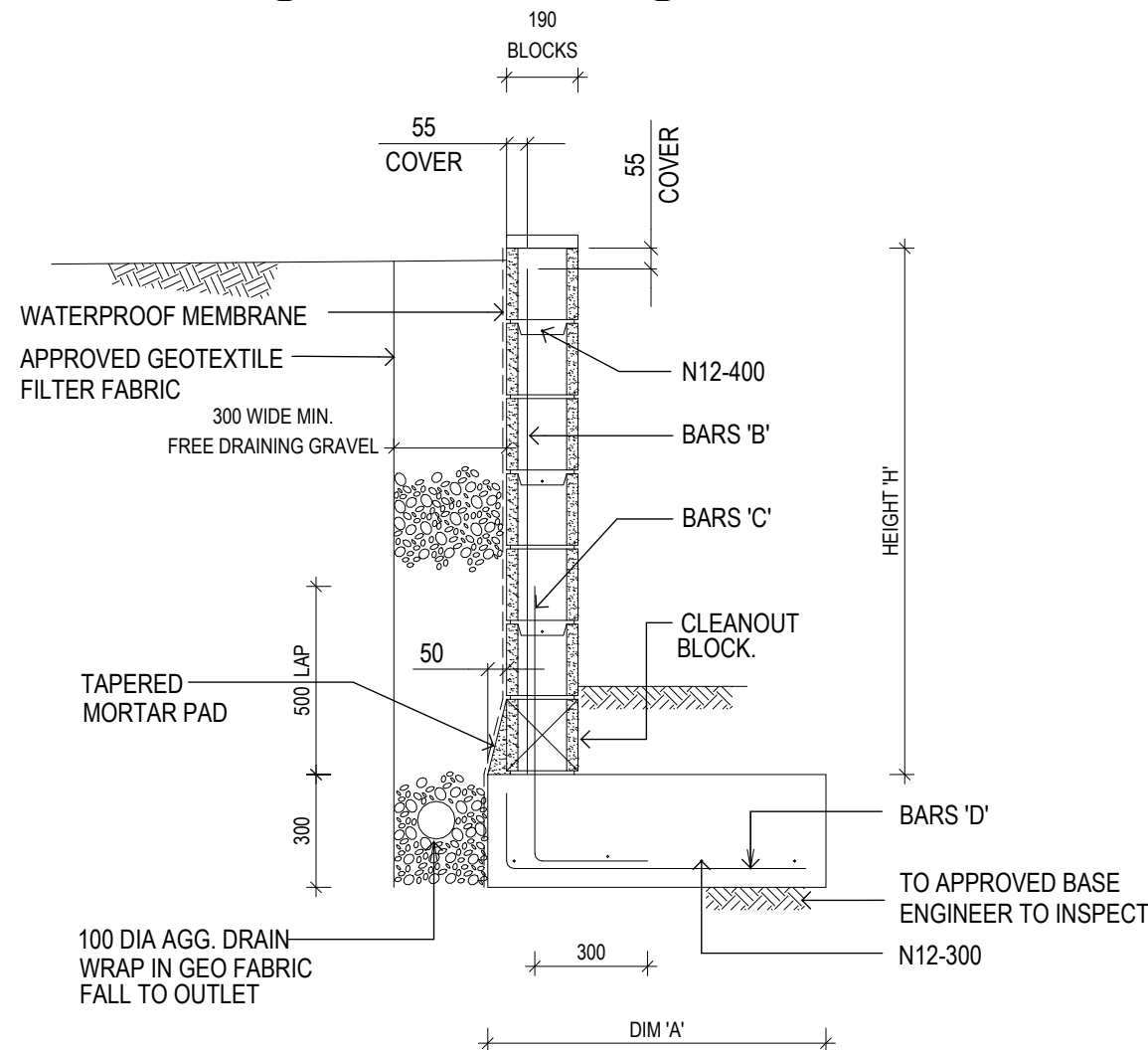
1. ALL WORK TO BE IN ACCORDANCE WITH AS4678, AS3600, AS3700 AND THE CMAA DESIGN AND CONSTRUCTION GUIDE.
2. GROUT FOR FILLING OF BLOCK WORK WALLS TO BE MIN 25 MPa WITH MAXIMUM AGGREGATE SIZE OF 10mm. SLUMP SHALL BE MAXIMUM REQUIRED TO ALLOW PUMPING AND PLACEMENT BUT LIMITED TO 120mm.
3. COVER TO REINFORCEMENT SHALL BE A MINIMUM OF 50 mm FOR FOOTINGS AND 65mm FOR GROUTED BLOCK WALLS, MEASURED FROM EXTERNAL FACE OF BLOCKWORK.
4. ALLOW MINIMUM 3 DAYS FOR MORTAR TO CURE BEFORE GROUT FILLING MASONRY BLOCK WALLS.
5. ALLOW MINIMUM 14 DAYS FOR GROUT TO CURE PRIOR TO BACKFILLING BEHIND WALLS.
6. DRAINAGE SHALL BE PROVIDED AT THE REAR OF THE WALL COMPRISING OF (AS A MINIMUM) A MIN. 90mm DIAMETER SLOTTED PVC PIPE POSITIONED TO FALL AT NO LESS THAN 1:100 AND A MIN. 300mm WIDE DRAINAGE LAYER FILLED WITH 20mm CLEAN AGGREGATE TO FULL HEIGHT OF WALL. GEOTEXTILE FABRIC SHALL BE PROVIDED TO THE UPSLOPE SIDE OF THE DRAINAGE LAYER.
7. ARTICULATION JOINTS SHALL BE AS SPECIFIED BY THE ENGINEER.
8. BLOCK WORK CAVITIES SHALL BE KEPT FREE OF MORTAR DROPPINGS. CLEANOUT BLOCKS SHALL BE PROVIDED TO THE BOTTOM COURSE IF REQUIRED.
9. ALL RETAINING WALLS SHALL BE WATERPROOFED WITH A SUITABLE PROPRIETY PRODUCT U.N.O. PROTECTIVE BACKING SHEET SHALL BE INSTALLED PRIOR TO PLACEMENT OF AGGREGATE BACKFILL.

UN-REINFORCED MASONRY

1. ALL MASONRY TO CONFORM TO THE REQUIREMENTS OF AS3700, BCA AND THE CONCRETE AND MASONRY ASSOCIATION OF AUSTRALIA CONCRETE MASONRY HANDBOOK U.N.O.
2. SINGLE LEAF MASONRY CONSTRUCTION TO BE IN ACCORDANCE WITH CONCRETE MASONRY ASSOCIATION OF AUSTRALIA DESIGN MANUAL FOR SINGLE LEAF CONSTRUCTION U.N.O.
3. MASONRY LINTELS SHALL COMPLY WITH BCA REQUIREMENTS U.N.O.
4. PROVIDE APPROVED BRICK TIES TO TIMBER FRAME AT MIN. 600mm VERTICAL AND HORIZONTAL CENTRES U.N.O.
5. VERTICAL ARTICULATION JOINTS ARE TO BE PROVIDED AS PER BCA REQUIREMENTS.
6. PROVIDE DAMP PROOF COURSE AROUND ALL WINDOWS AND AT FLOORS TO ARCHITECTURAL DETAILS.
7. PROVIDE WEEP HOLES AND CLEAN CAVITY FROM ALL OBSTRUCTIONS.

REINFORCED MASONRY

1. ALL MASONRY TO CONFORM TO THE REQUIREMENTS OF AS3700, BCA AND THE CONCRETE AND MASONRY ASSOCIATION OF AUSTRALIA CONCRETE MASONRY HANDBOOK U.N.O.
2. SINGLE LEAF MASONRY CONSTRUCTION TO BE IN ACCORDANCE WITH CONCRETE MASONRY ASSOCIATION OF AUSTRALIA DESIGN MANUAL FOR SINGLE LEAF CONSTRUCTION U.N.O.
3. MASONRY LINTELS SHALL COMPLY WITH BCA REQUIREMENTS U.N.O.
4. PROVIDE TIES TO TIMBER FRAME AT MIN. 600mm CENTRES U.N.O.
5. VERTICAL ARTICULATION JOINTS ARE TO BE PROVIDED AS PER BCA REQUIREMENTS.



SLAB ON GRADE DETAIL

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A	COUNCIL RFI 2	BF	13.11.25
REV	DESCRIPTION	DWN	DATE



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Title **INTERNAL ELEVATIONS & DETAILS**

Drawn by	Author	Appr/Approver	Project Number
Scale indicated @	A3	Date 30/04/25	001.19135
Drawing No	A09	Rev	E

DIM 'H'	DIM 'A'	BARS 'B'	BARS 'C'	BARS 'D'
600	600	N12-400	N12-400	N12-400
1200	900	N12-400	N12-400	N12-400
1600	1200	N12-400	N16-400	N16-400
2000	1600	N16-400	N16-200	N16-400

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RETAINING WALL - RW1
 SCALE 1:20



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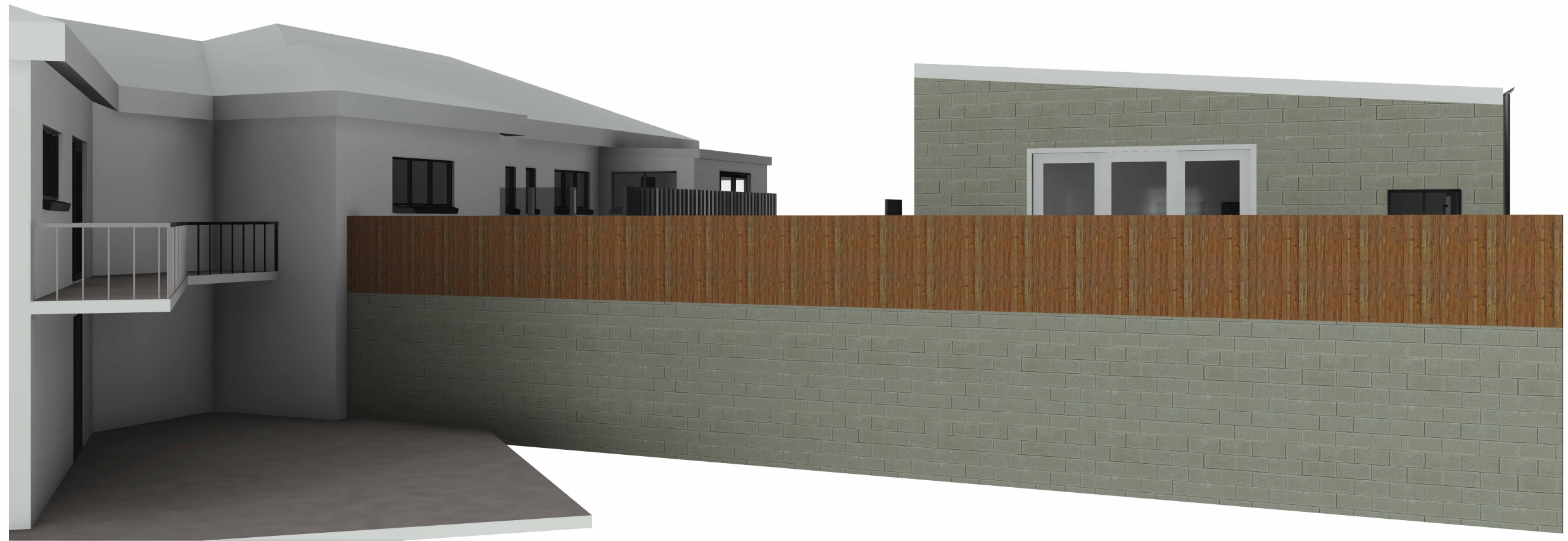
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hobart@philplighton.com.au
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SALTER HOUSE - NEW DWELLING
555 MAIN ROAD MONTROSE
555 Main Road
Montrose TAS

3D VIEW 1

Scale 1:125 @ A3 Date 30/04/25 Project 001.19135

Drawing No **A10** Rev **E**



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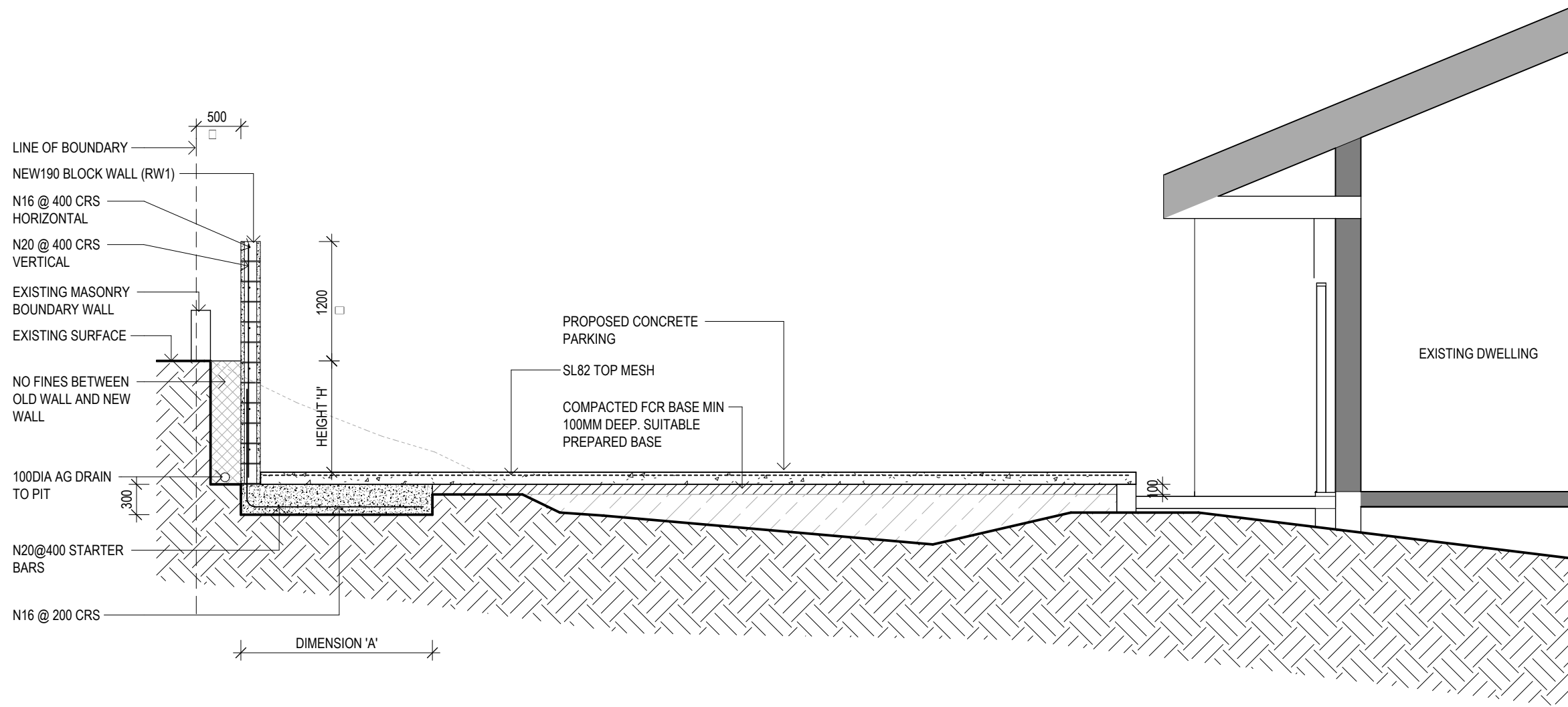
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3D VIEW 2

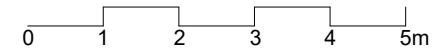
Scale @ A3 Date 30/04/25 Project 001.19135

Drawing No **A11** Rev **E**



1
A02 SITE SECTION C-C
1:50

REV	DESCRIPTION	DWN	DATE
B	COUNCIL RFI 3	BF	22.04.26
A	COUNCIL RFI 2	BF	13.11.25



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Project **SALTER HOUSE - NEW DWELLING**
555 MAIN ROAD MONTROSE
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 Montrose TAS

Title **SITE SECTION**

Drawn by	Author	Appr/Approver	Project Number
Scale	1:50 @ A3	Date 30/04/25	001.19135
Drawing No	A12		Rev E

**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
APPLICATION No. : PLN-25-178
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555 MAIN ROAD MONTROSE
555 Main Road
Montrose TAS

3D VIEW 1

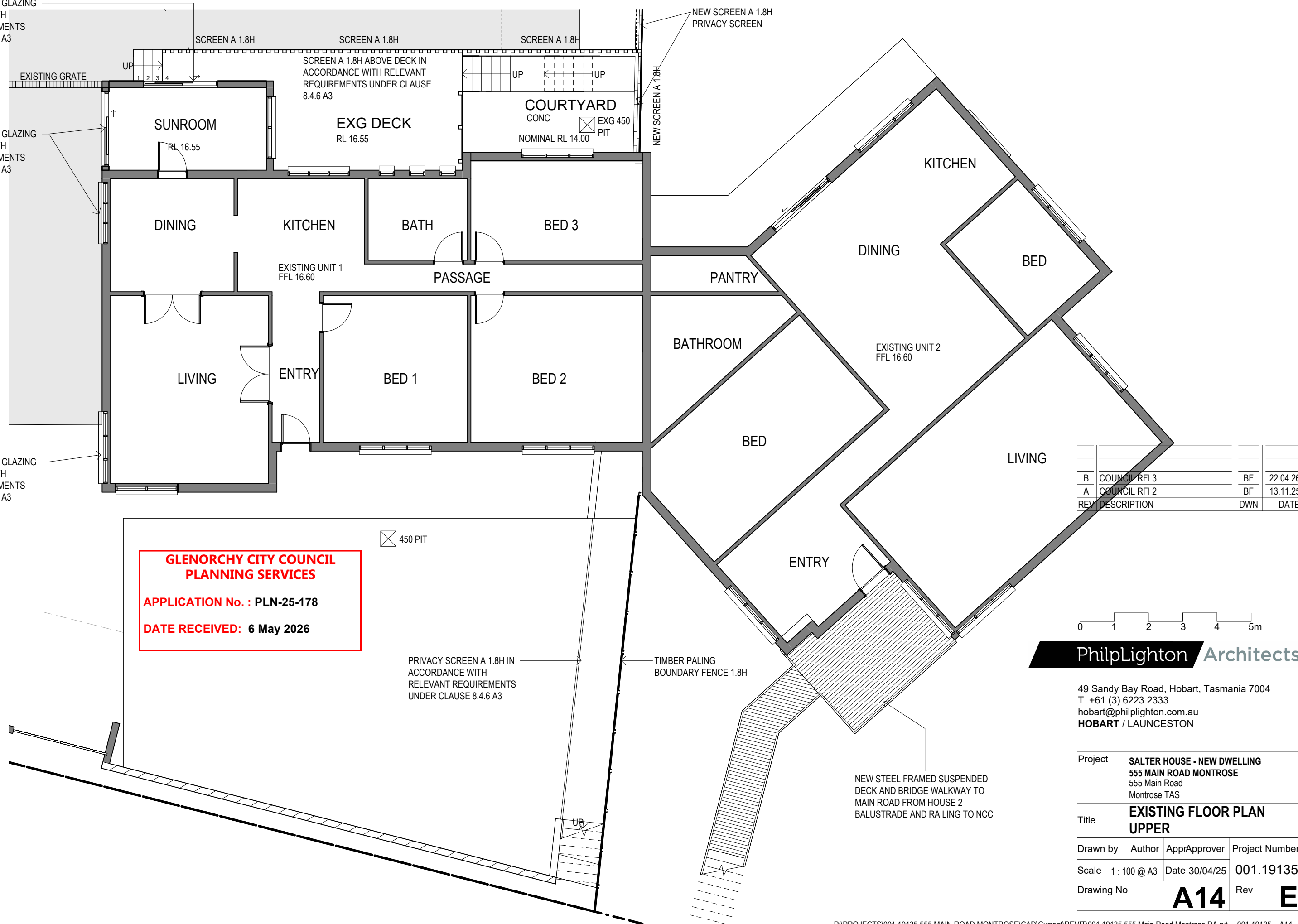
Scale **Date** 30/04/25 **Project** 001.19135

Drawing No **A13** **Rev** **E**

APPLY FROSTING TO GLAZING
 IN ACCORDANCE WITH
 RELEVANT REQUIREMENTS
 UNDER CLAUSE 8.4.6 A3

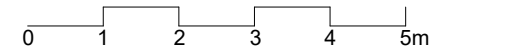
APPLY FROSTING TO GLAZING
 IN ACCORDANCE WITH
 RELEVANT REQUIREMENTS
 UNDER CLAUSE 8.4.6 A3

APPLY FROSTING TO GLAZING
 IN ACCORDANCE WITH
 RELEVANT REQUIREMENTS
 UNDER CLAUSE 8.4.6 A3



**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
APPLICATION No. : PLN-25-178
DATE RECEIVED: 6 May 2026

REV	DESCRIPTION	DWN	DATE
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A	COUNCIL RFI 2	BF	13.11.25



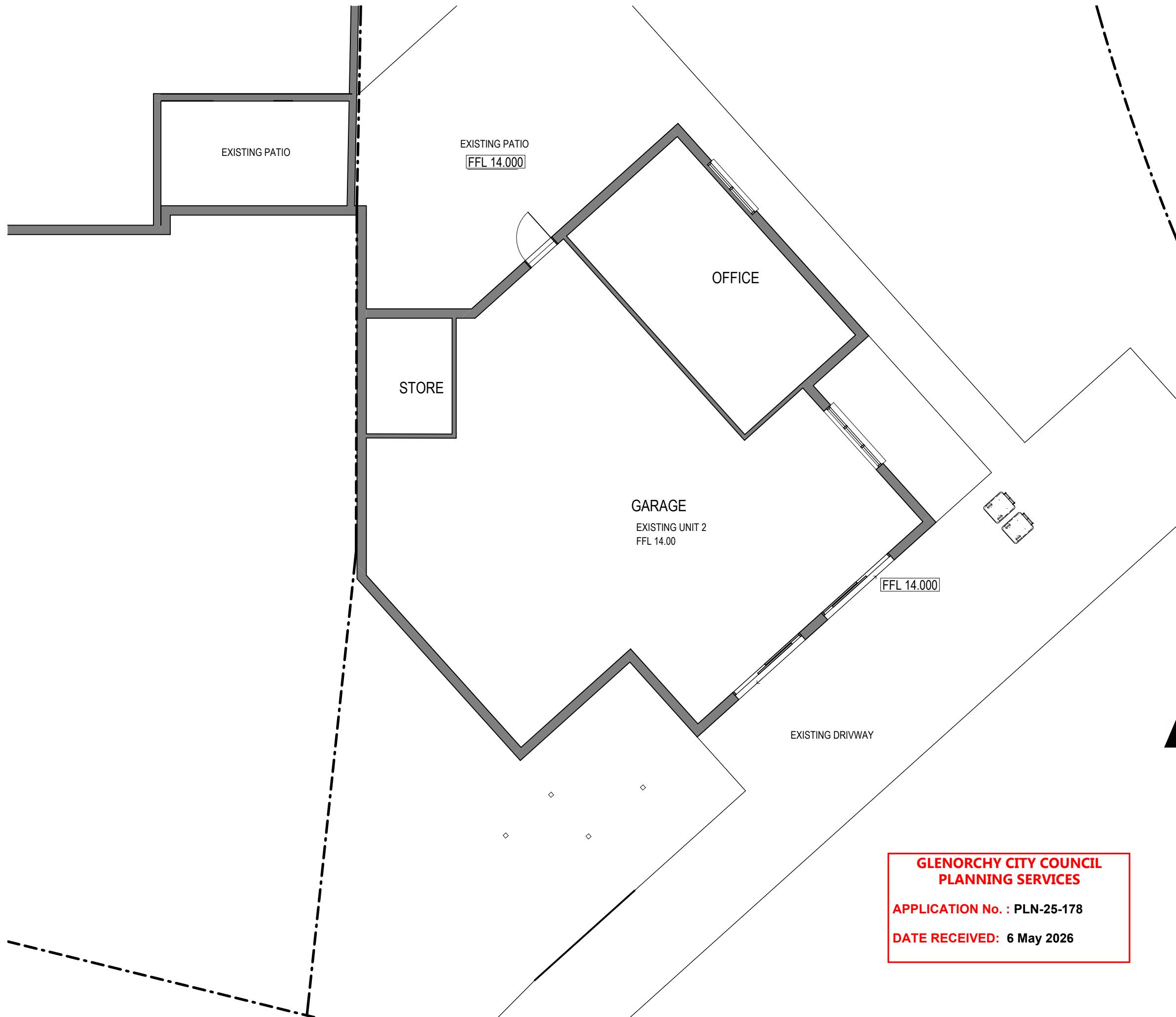
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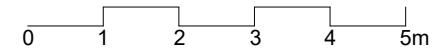
Project **SALTER HOUSE - NEW DWELLING**
 555 MAIN ROAD MONTROSE
 555 Main Road
 Montrose TAS

Title **EXISTING FLOOR PLAN**
UPPER

Drawn by	Author	Appr/Approver	Project Number
Scale	1 : 100 @ A3	Date 30/04/25	001.19135
Drawing No	A14	Rev	E



REV	DESCRIPTION	DWN	DATE
B	COUNCIL RFI 3	BF	22.04.26
A	COUNCIL RFI 2	BF	13.11.25



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**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**

APPLICATION No. : PLN-25-178

DATE RECEIVED: 6 May 2026

Project **SALTER HOUSE - NEW DWELLING**
 555 MAIN ROAD MONTROSE
 555 Main Road
 Montrose TAS

Title **EXISTING FLOOR PLAN
 LOWER**

Drawn by	Author	Appr/Approver	Project Number
Scale	1 : 100 @ A3	Date 30/04/25	001.19135
Drawing No	A15		Rev E

MAIN ROAD MONTROSE

INFORMATION

EXISTING HOUSE 1
 TOTAL AREA 375m²

EXISTING HOUSE 2
 TOTAL AREA 1109m²

PROPOSED DWELLING
 TOTAL AREA 327m²

EXTENT OF PRIVACY
 SCREENING

FLOOR AREA 110m²

SCREEN A STEEL FRAMED 1800 HIGH
 75 x 22 TIMBER SLATS - PAINT
 22 SPACERS SCREEN TO TOP OF
 RENDERED RETAINING WALL

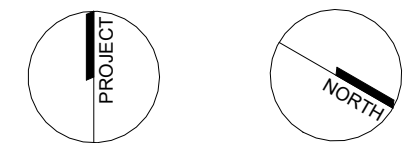
SCREEN B ALUMINIUM POST FRAMED 1800 HIGH
 75 x 22 TIMBER SLATS - PAINTED
 22 SPACERS DYNABOLT TO TOP OF
 RENDERED RETAINING WALL

SCREEN C AS FOR SCREEN B BUT 1400mm HIGH
 ABOVE TOP OF RETAINING WALL

APPLY FROSTING TO EXISTING GLAZING
 IN ACCORDANCE WITH RELEVANT
 REQUIREMENTS UNDER CLAUSE 8.4.6 P3

APPLY FROSTING TO GLAZING IN
 ACCORDANCE WITH RELEVANT
 REQUIREMENTS UNDER CLAUSE 8.4.6 A3 (B)

D	COUNCIL RFI 3	BF	22.04.26
C	COUNCIL RFI 2	BF	13.11.25
B	COMPLIANCE	BT	30.04.25
A	GENERAL REVISIONS	MS	13.02.24
REV	DESCRIPTION	DWN	DATE



0 1 2 3 4 5m

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Project **SALTER HOUSE - NEW DWELLING**
 555 MAIN ROAD MONTROSE
 555 Main Road
 Montrose TAS

Title **SITE PLAN - PRIVATE OPEN SPACE**

Drawn by BT Appr PG Project Number

Scale 1 : 200 @ A3 Date 30/04/25 001.19135

Drawing No **A16** Rev **E**

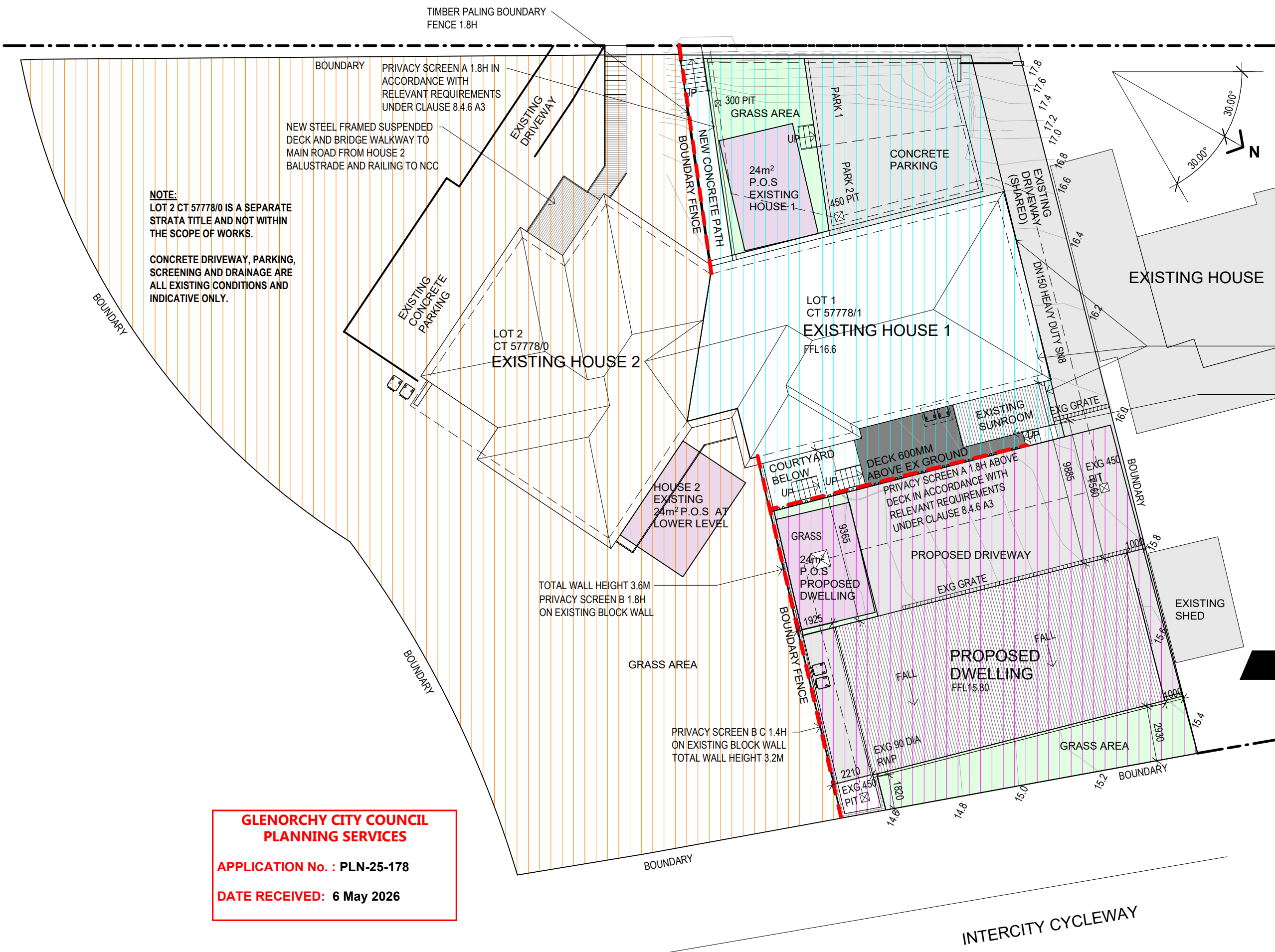
NOTE:
 LOT 2 CT 57778/0 IS A SEPARATE
 STRATA TITLE AND NOT WITHIN
 THE SCOPE OF WORKS.

CONCRETE DRIVEWAY, PARKING,
 SCREENING AND DRAINAGE ARE
 ALL EXISTING CONDITIONS AND
 INDICATIVE ONLY.

**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**

APPLICATION No. : **PLN-25-178**

DATE RECEIVED: **6 May 2026**

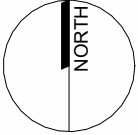




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SALTER HOUSE - NEW DWELLING
 555 MAIN ROAD MONTROSE
 555 Main Road
 Montrose TAS

SOLAR STUDY 21 June 9am

Scale 1 : 200 @ A3 Date 30/04/25 Project 001.19135

Drawing No **A17** Rev **E**

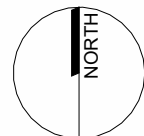
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A06 21 JUNE 9am
1 : 200



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-178

DATE RECEIVED: 6 May 2026



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SALTER HOUSE - NEW DWELLING
 555 MAIN ROAD MONTROSE
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SOLAR STUDY 21 June 12pm

Scale 1 : 200 @ A3 Date 30/04/25 Project 001.19135

Drawing No A18 Rev E

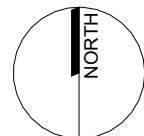
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 A06 **21 JUNE 12pm**
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-178

DATE RECEIVED: 6 May 2026



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SALTER HOUSE - NEW DWELLING
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 555 Main Road
 Montrose TAS

SOLAR STUDY 21 June 3pm

Scale 1 : 200 @ A3 Date 30/04/25 Project 001.19135

Drawing No A19 Rev E

1
A06
21 JUNE 3pm
1 : 200

**C3.6 DEVELOPMENT STANDARDS FOR BUILDINGS OR WORKS
C3.6.1 HABITABLE BUILDINGS FOR SENSITIVE USES WITHIN A
ROAD OR RAILWAY ATTENUATION AREA**

Performance Criteria

- P1**
Habitable buildings for sensitive uses within a road or railway attenuation area, must be sited, designed or screened to minimise adverse effects of noise, vibration, light and air emissions from the existing or future major road or rail network, having regard to:
- (a) the topography of the site;
 - (b) the proposed setback;
 - (c) any buffers created by natural or other features;
 - (d) the location of existing or proposed buildings on the site;
 - (e) the frequency of use of the rail network;
 - (f) the speed limit and traffic volume of the road;
 - (g) any noise, vibration, light and air emissions from the rail network or road;
 - (h) the nature of the road;
 - (i) the nature of the development;
 - (j) the need for the development;
 - (k) any traffic impact assessment;
 - (l) any mitigating measures proposed;
 - (m) any recommendations from a suitably qualified person for mitigation of noise; and
 - (n) any advice received from the rail or road authority.

RESPONSE TO PERFORMANCE CRITERIA P1

- Topography of site: Dwelling is built up above existing ground height of corridor to reduce sound transfer.
- Proposed setback: The proposed setback is in keeping with other dwellings on neighbouring and surrounding properties as shown on the diagram on this page. Other existing dwellings and out buildings are closer to the corridor.
- Existing buffers between dwelling and corridor: Existing vegetation and a bike lane are between the railway corridor and boundary of the property and will be retained.
- The location of existing or proposed buildings on the site: the building is an existing garage being converted into a dwelling. There is no construction proposed closer to the corridor.
- The frequency of use of the rail network: Rail line is not in use. there are no current plans to reopen the line.
- The speed limit and traffic volume of the road: Zero traffic, railway not in use.
- Any noise, vibration, light and air emissions from the rail network or road: None, not in use. In addition, there are no windows to habitable rooms in the proposed dwelling in the wall facing the corridor. Also the proposed dwelling has been designed to exceed minimum 6-star energy rating under the Nationwide House Energy Rating Scheme (NatHERS). The external wall are constructed from 190mm core filled block (RW55) plus cavity, 90 stud, R2.5 insulation (Rw45) and 10mm plaster to minimise sound transfer. All glazing to the dwelling is double glazed aluminium. Roof/ceiling insulation is minimum R6.5 meaning the insulation values are far higher than those of the existing house.
- The nature of the road; The nature is a disused rail corridor and bike path.
- The need for the development: The proposed dwelling small low maintenance affordable housing, much needed in the area.

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555 MAIN ROAD MONTROSE
555 Main Road
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**C3.6.1 HABITABLE BUILDINGS FOR SENSITIVE USES WITHIN
A ROAD OR RAILWAY ATTENUATION AREA**

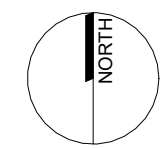
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Drawing No **A20** Rev **E**



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PLANNING SERVICES**
APPLICATION No. : PLN-25-178
DATE RECEIVED: 6 May 2026



9.4.6 PRIVACY FOR ALL DWELLINGS A2.
 PERMANENTLY FIXED EXTERNAL SCREEN
 FOR THE FULL LENGTH OF THE WINDOW OR GLAZED DOOR,
 TO A HEIGHT OF NOT LESS THAN 1.7M ABOVE FLOOR
 LEVEL, WITH A UNIFORM TRANSPARENCY OF NOT MORE
 THAN 25%.

A3
 A SHARED DRIVEWAY OR PARKING SPACE (EXCLUDING A PARKING
 SPACE ALLOCATED TO THAT DWELLING) MUST BE SEPARATED FROM
 A WINDOW, OR GLAZED DOOR, TO A HABITABLE ROOM OF A
 MULTIPLE DWELLING BY A HORIZONTAL DISTANCE OF NOT LESS THAN:
 (A) 2.5M; OR
 (B) 1M IF:
 (I) IT IS SEPARATED BY A SCREEN OF NOT LESS THAN 1.7M
 IN HEIGHT; OR
 (II) THE WINDOW, OR GLAZED DOOR, TO A HABITABLE ROOM
 HAS A SILL HEIGHT OF NOT LESS THAN 1.7M ABOVE THE
 SHARED DRIVEWAY OR PARKING SPACE, OR HAS FIXED
 OBSCURE GLAZING EXTENDING TO A HEIGHT OF NOT
 LESS THAN 1.7M ABOVE THE FLOOR LEVEL.



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DECK SCREENING ELEVATION Clause 9.4.6 A2.

Scale 1 : 50 @ A3 **Date** 30/04/25 **Project** 001.19135

Drawing No **A21** **Rev** **E**



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 555 MAIN ROAD MONTROSE
 555 Main Road
 Montrose TAS

ELEVATION - ENTRY HOUSE 2

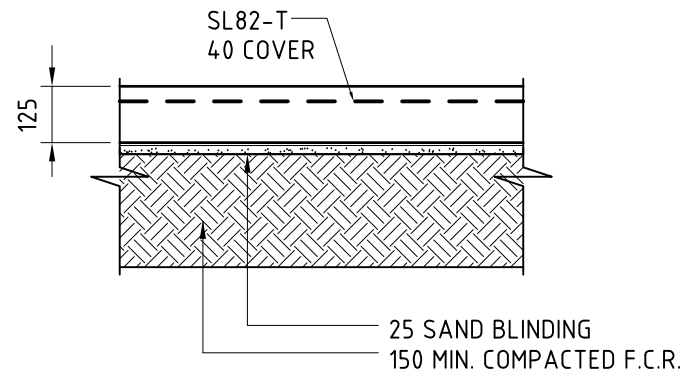
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Drawing No A23 Rev E

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

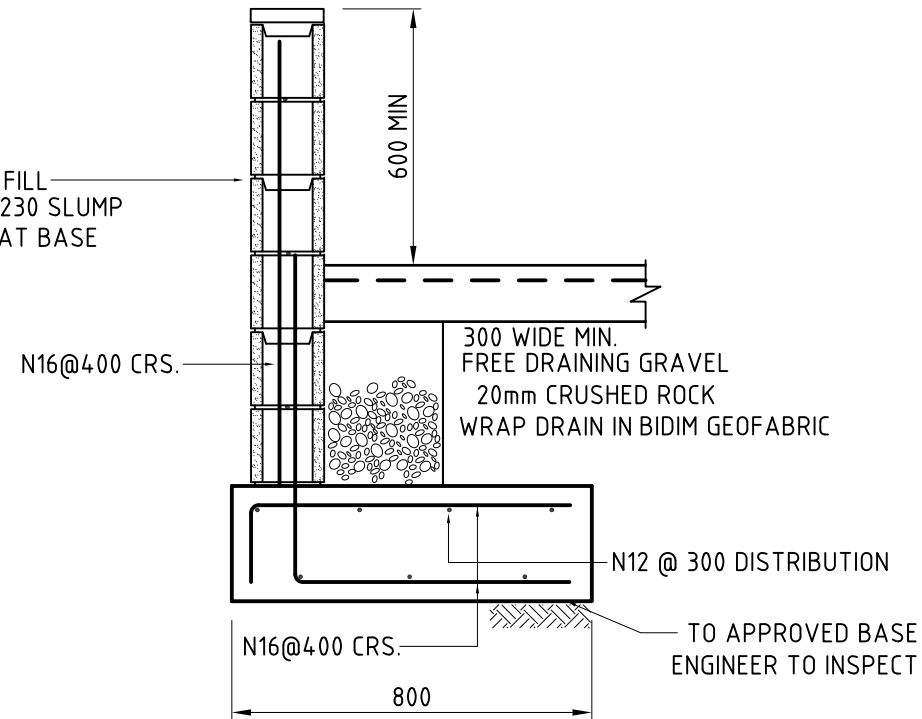
APPLICATION No. : PLN-25-178

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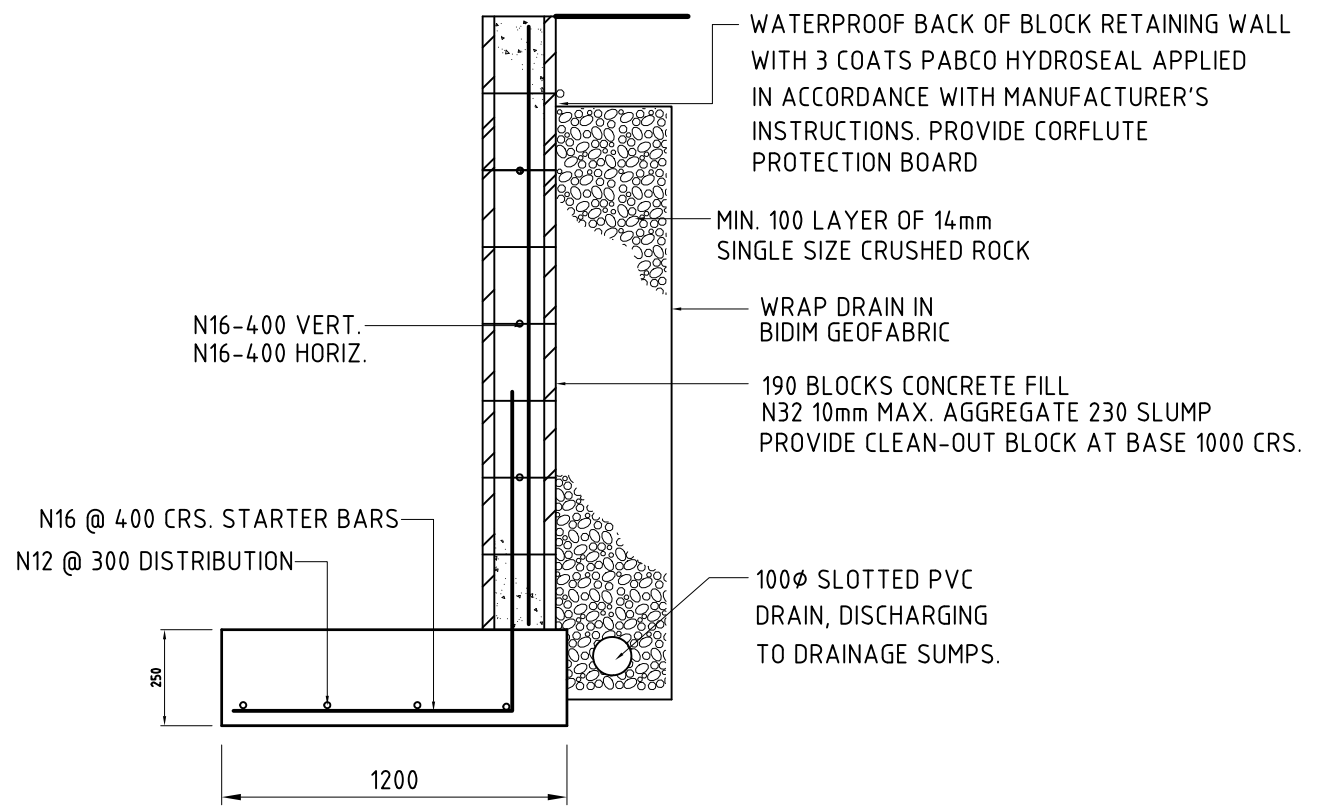


TYPICAL UNDERSLAB PREPARATION DETAIL
SCALE 1:20

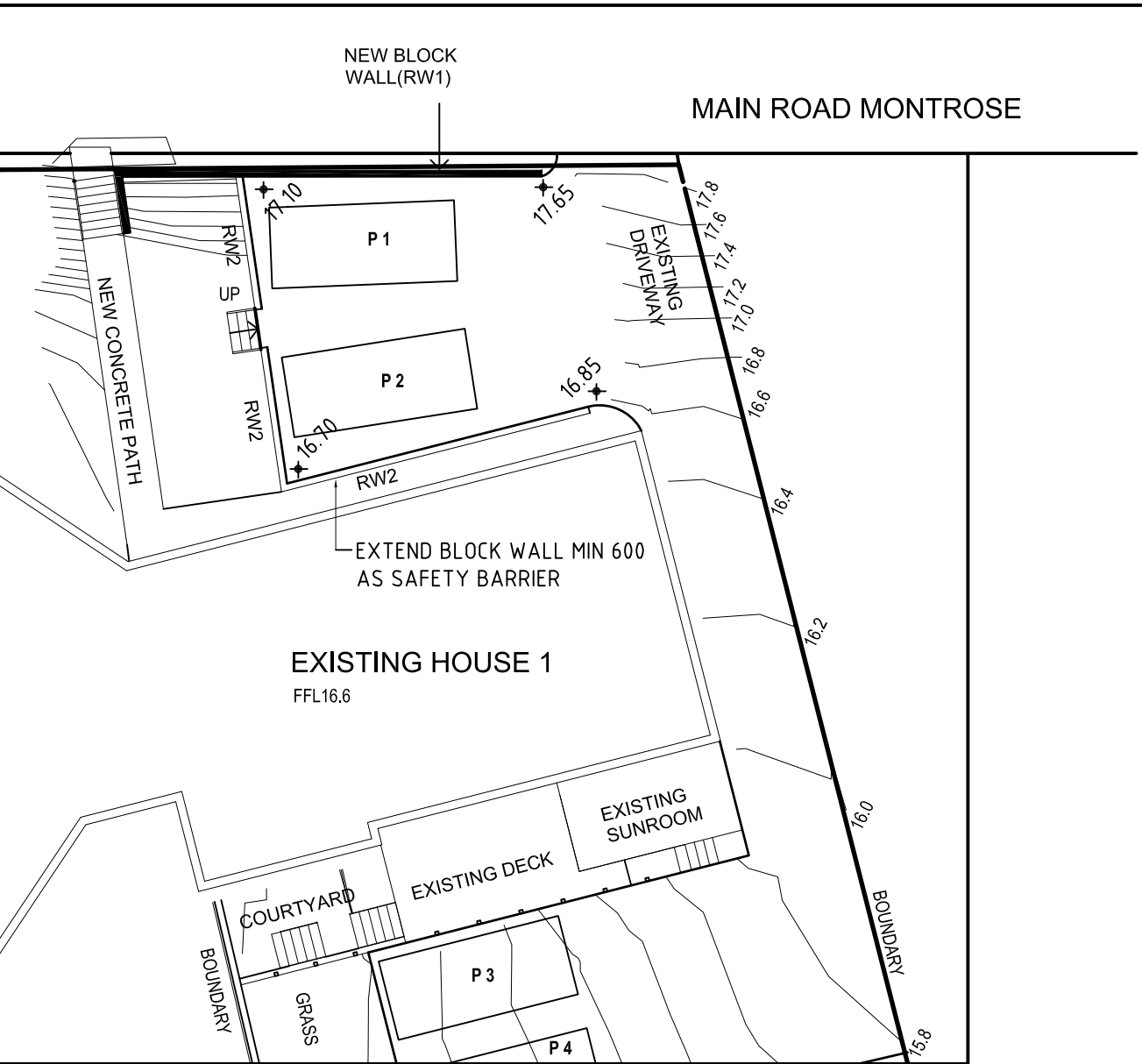
190 POOL BLOCKS CONCRETE FILL
N32 10mm MAX. AGGREGATE 230 SLUMP
PROVIDE CLEAN-OUT BLOCK AT BASE



RW2 RETAINING WALL TO 1000 DETAIL



RW1 RETAINING WALL TO 2000 DETAIL



CONSULTING ENGINEERS
Emmanuel Deltas Pty Ltd
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20 Stratton Ave L/Valley

Project Title: PROPOSED UNIT DEVELOPMENT FOR Mr SCOTT SLATER AT 555 MAIN RD MONTROSE		Scale: 1:200	A3
CIVIL DETAILS		Job No. 4944	
Date: Jan 2026	Drawing No. C1	Rev. 1	

TABLE B3
BASE DIMENSIONS FOR ANGLE PARKING OTHER THAN 90 DEGREES

Parking angle degrees	Space width m	Base aisle width, m	Aisle width including manoeuvring clearances (2 × 300 mm), m
30	2.5	2.2	2.8
45	2.5	3.1	3.7
60	2.5	4.0	4.6

B4.6 Circulating traffic in the parking aisle

In addition to determining the required width of parking aisles for manoeuvring, a check is needed to ensure that there is sufficient width for circulating traffic. The required minimum aisle widths for circulating traffic are as shown in Table B4.

TABLE B4
PARKING AISLE WIDTHS FOR CIRCULATING TRAFFIC

(Applies also to ramps and circulation roadways)

Aisle direction	Base width m	Width including manoeuvring and circulation clearances, m
One-way	2.0	2.9 (Note 1)
Two-way	4.0	5.8 (Note 2)

NOTES:

- 1 Includes two manoeuvring clearances (2 × 300 mm) and one circulation clearance (1 × 300 mm) (see Paragraph B3.2).
- 2 Includes clearances as in Note 1 for both directions of travel.

The one-way value applies only to aisles with other than 90 degree parking. The two-way value applies only to aisles with 90 degree parking. In most cases, the width required for manoeuvring will be greater than those shown in Table B4.

B4.7 Ramp and circulation roadway widths

The same principles apply to the determination of ramp and circulation roadway widths as apply to widths required for circulating traffic in parking aisles (see Paragraph B4.5). The widths given in Table B4 are therefore appropriate in this case also.

B4.8 Parking in residential and domestic car parks

A reduction in aisle width from 6.2 m to 5.8 m has been allowed in Figure 2.2 at User class 1A developments (see Clause 1.4) for 90 degree turns into parking spaces. This concession which is designed to be of assistance where space is limited, recognizes that such developments will have low turnover and users generally prepared to accept some inconvenience when entering or leaving the parking space. Tests have shown that most vehicles larger than the B85 vehicle will need to make a 3-point turn if the manoeuvring space is the minimum allowable. Some very large vehicles may need to make a 5-point turn.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-178

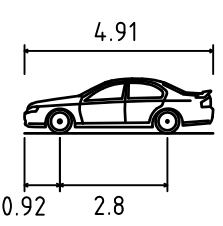
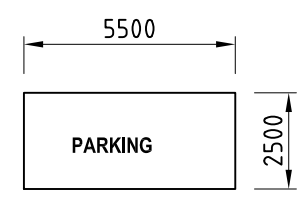
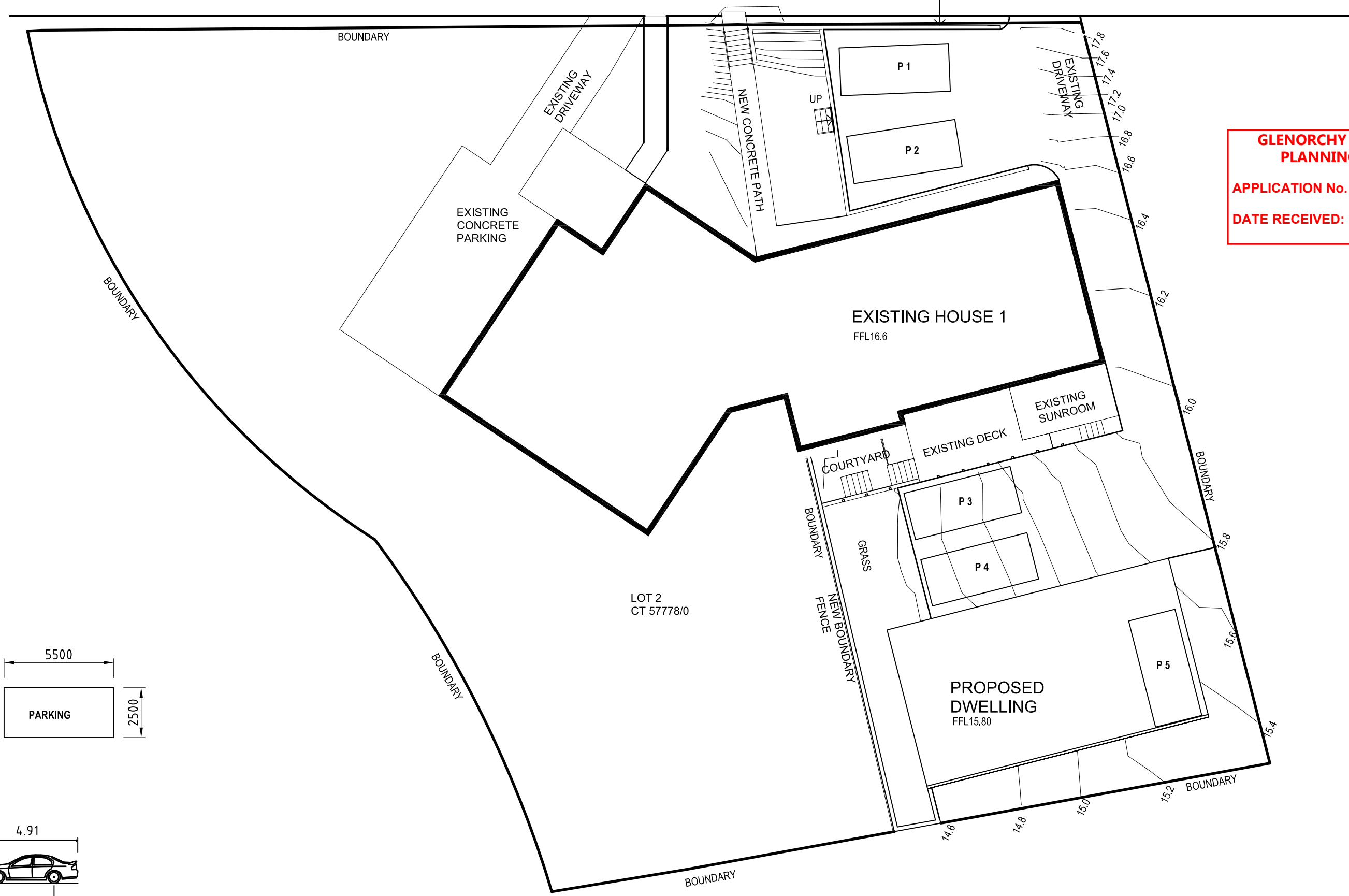
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NEW 1200 BLOCK WALL(RW1)

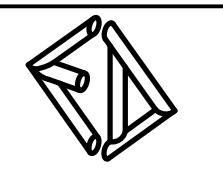
MAIN ROAD MONTROSE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-25-178
DATE RECEIVED: 6 May 2026



B85 Vehicle (Realistic min radius) (2004)	
Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	5.750m

LOT 2
CT 57778/0



CONSULTING ENGINEERS
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20 Stratton Ave L/Valley

Project Title:
**PROPOSED UNIT DEVELOPMENT
FOR Mr SCOTT SLATER AT
555 MAIN RD MONTROSE
VEHICLE MANOUVERING
PARKING LAYOUT**

Date:
Jan 2026

Scale:	1:200	A3
Job No.	4944	
Drawing No.	VM1	Rev. 3

NEW 1200 BLOCK WALL(RW1)

MAIN ROAD MONTROSE

BOUNDARY

EXISTING DRIVEWAY

NEW CONCRETE PATH

EXISTING DRIVEWAY

EXISTING CONCRETE PARKING

EXISTING HOUSE 1
FFL16.6

EXISTING SUNROOM

EXISTING DECK

COURTYARD

GRASS

LOT 2
CT 57778/0

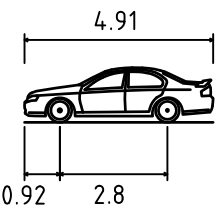
PROPOSED DWELLING
FFL15.80

NEW BOUNDARY
FENCE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-178

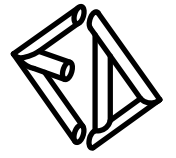
DATE RECEIVED: 6 May 2026



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Lock-to-lock time	4.00s
Curb to Curb Turning Radius	5.750m

Document Set ID: 3615182
Version: 1, Version Date: 14/05/2026



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Project Title:
**PROPOSED UNIT DEVELOPMENT
FOR Mr SCOTT SLATER AT
555 MAIN RD MONTROSE
VEHICLE MANOUVERING
PARK 1 - ENTRY**

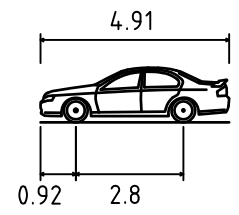
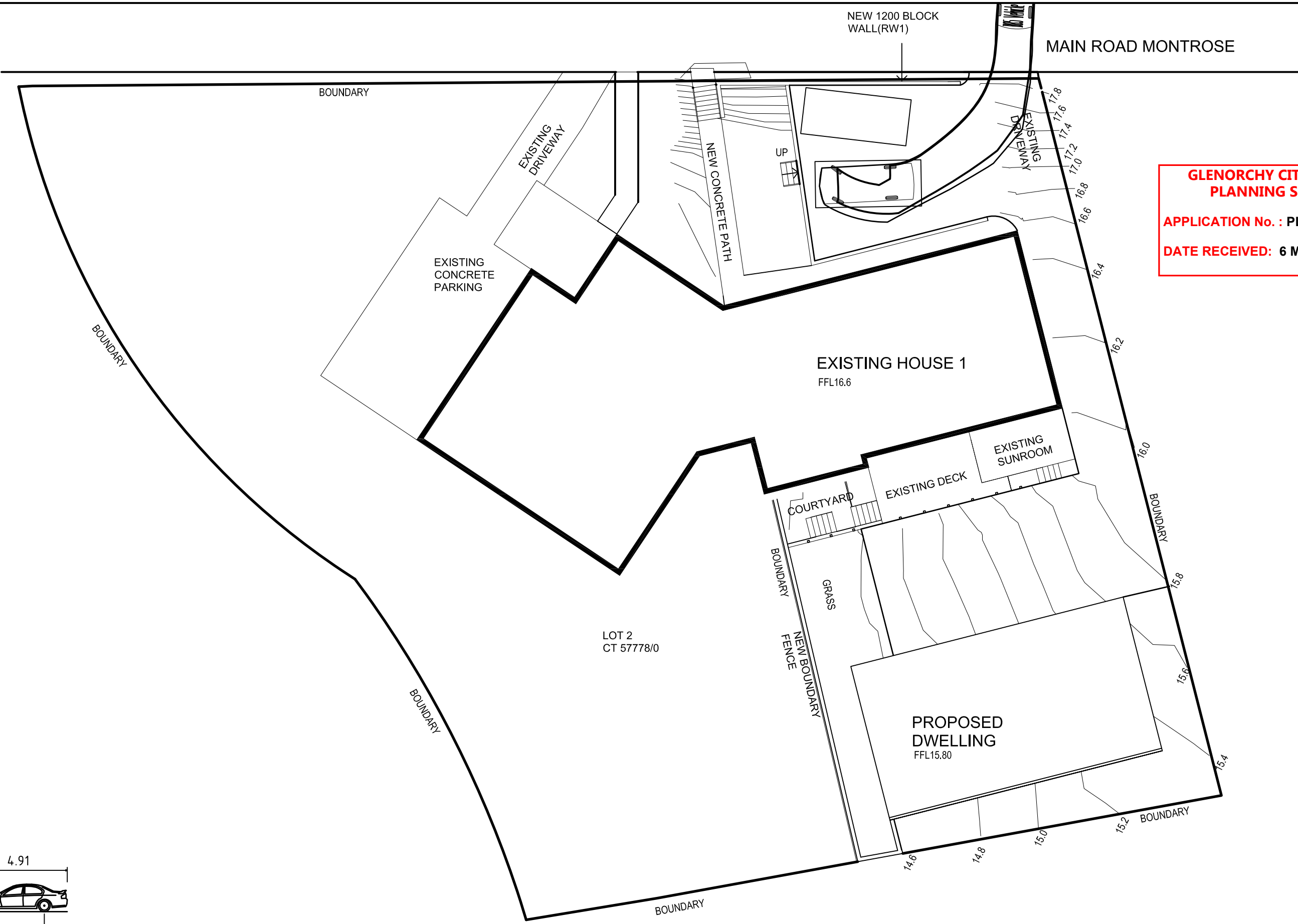
Date:
Jan 2026

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Job No.	4944	
Drawing No.	VM2	Rev.
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

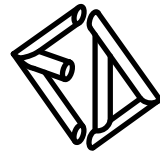
APPLICATION No. : PLN-25-178

DATE RECEIVED: 6 May 2026



B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	5.750m



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Project Title:
**PROPOSED UNIT DEVELOPMENT
FOR Mr SCOTT SLATER AT
555 MAIN RD MONTROSE
VEHICLE MANOUVERING
PARK 2 - ENTRY**

Date:
Jan 2026

Scale:	1:200	A3
Job No.	4944	
Drawing No.	VM3	Rev.
		1

NEW 1200 BLOCK WALL(RW1)

MAIN ROAD MONTROSE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-178

DATE RECEIVED: 6 May 2026

BOUNDARY

EXISTING DRIVEWAY

NEW CONCRETE PATH

EXISTING DRIVEWAY

EXISTING CONCRETE PARKING

EXISTING HOUSE 1
FFL16.6

EXISTING SUNROOM

EXISTING DECK

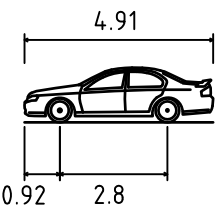
COURTYARD

GRASS

LOT 2
CT 57778/0

PROPOSED DWELLING
FFL15.80

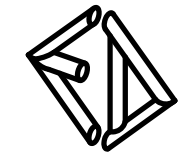
PARK 3



B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	5.750m

Document Set ID: 3615182
Version: 1, Version Date: 14/05/2026



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VEHICLE MANOUVERING
PARK 3 - ENTRY**

Scale:	1:200	A3
Job No.	4944	
Drawing No.	VM4	Rev. 1
Date:	Jan 2026	

NEW 1200 BLOCK WALL(RW1)

MAIN ROAD MONTROSE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-178

DATE RECEIVED: 6 May 2026

BOUNDARY

EXISTING DRIVEWAY

NEW CONCRETE PATH

EXISTING DRIVEWAY

EXISTING CONCRETE PARKING

EXISTING HOUSE 1
FFL16.6

EXISTING SUNROOM

EXISTING DECK

COURTYARD

GRASS

LOT 2
CT 57778/0

PROPOSED DWELLING
FFL15.80

BOUNDARY

NEW BOUNDARY
FENCE

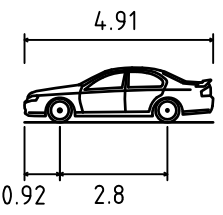
BOUNDARY

BOUNDARY

BOUNDARY

BOUNDARY

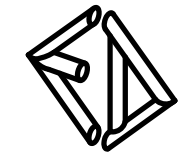
BOUNDARY



B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	5.750m

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Project Title:
**PROPOSED UNIT DEVELOPMENT
FOR Mr SCOTT SLATER AT
555 MAIN RD MONTROSE
VEHICLE MANOUVERING
PARK 1 - EXIT**

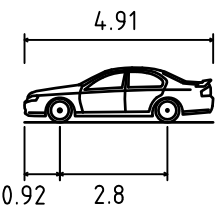
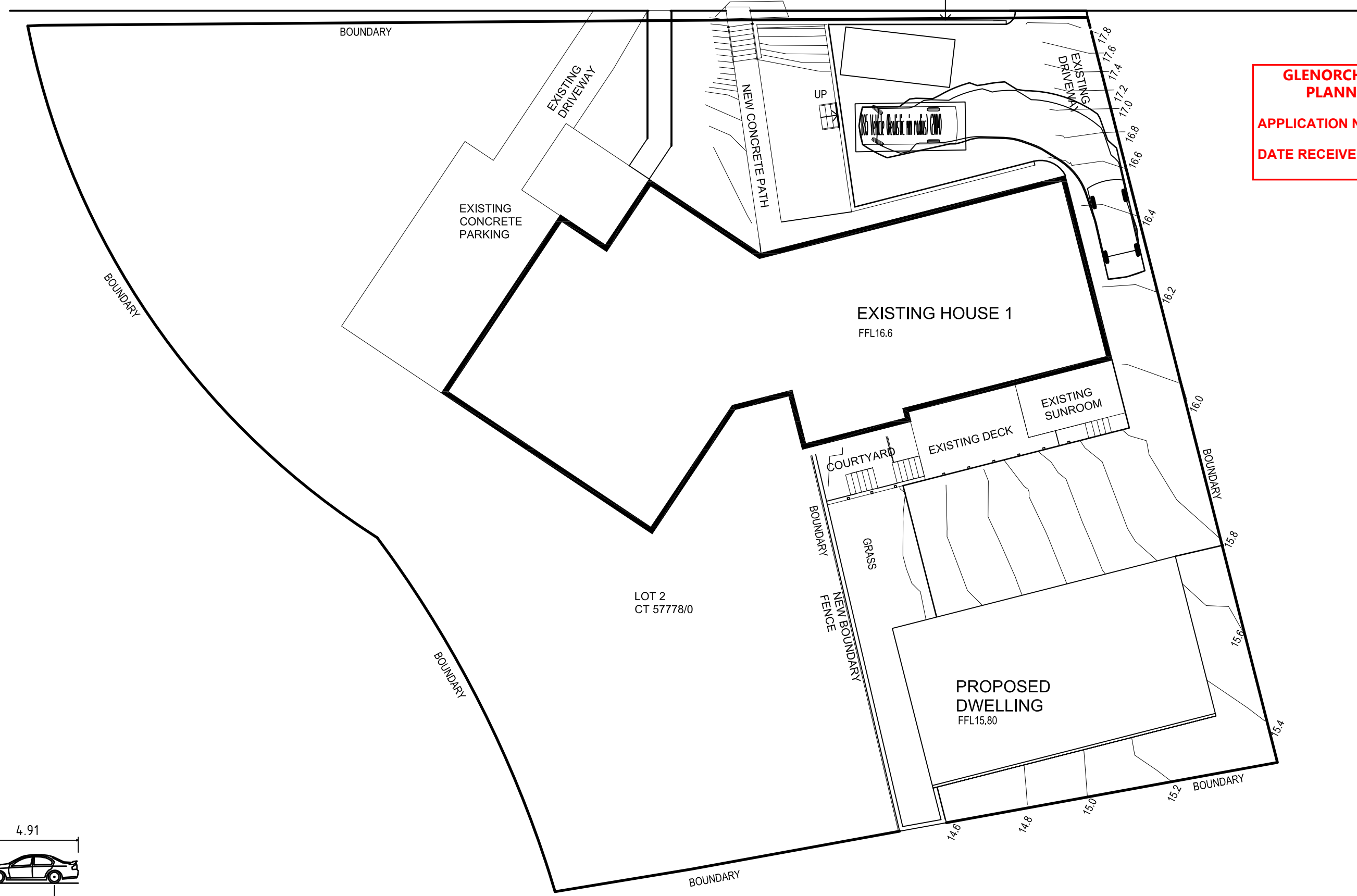
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Drawing No.	VM6	Rev. 1

Date:
Jan 2026

NEW 1200 BLOCK WALL(RW1)

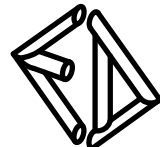
MAIN ROAD MONTROSE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-25-178
DATE RECEIVED: 6 May 2026



B85 Vehicle (Realistic min radius) (2004)
 Overall Length 4.910m
 Overall Width 1.870m
 Overall Body Height 1.421m
 Min Body Ground Clearance 0.159m
 Track Width 1.770m
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 5.750m

LOT 2
CT 57778/0



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555 MAIN RD MONTROSE
VEHICLE MANOUVERING
PARK 2 - EXIT**

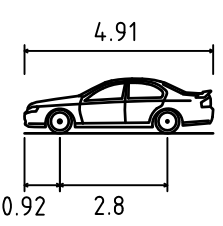
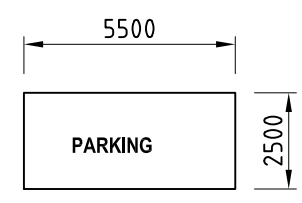
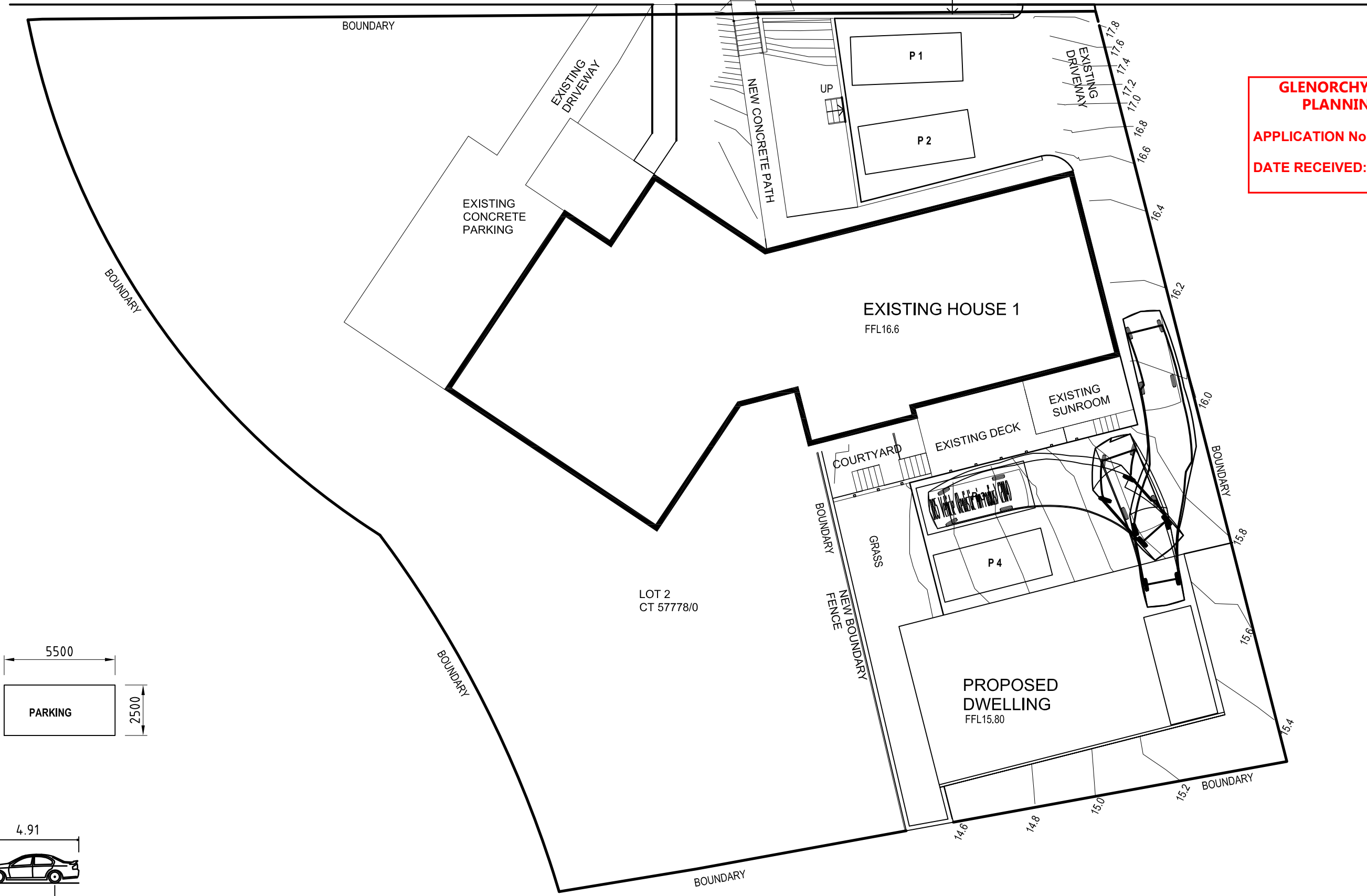
Date:
Jan 2026

Scale:	1:200	A3
Job No.	4944	
Drawing No.	VM7	Rev.
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NEW 1200 BLOCK WALL(RW1)

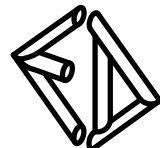
MAIN ROAD MONTROSE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-25-178
DATE RECEIVED: 6 May 2026



B85 Vehicle (Realistic min radius) (2004)	
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Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	5.750m

Document Set ID: 3615182
Version: 1, Version Date: 14/05/2026



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**PROPOSED UNIT DEVELOPMENT
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VEHICLE MANOUVERING
PARK 3 - EXIT**

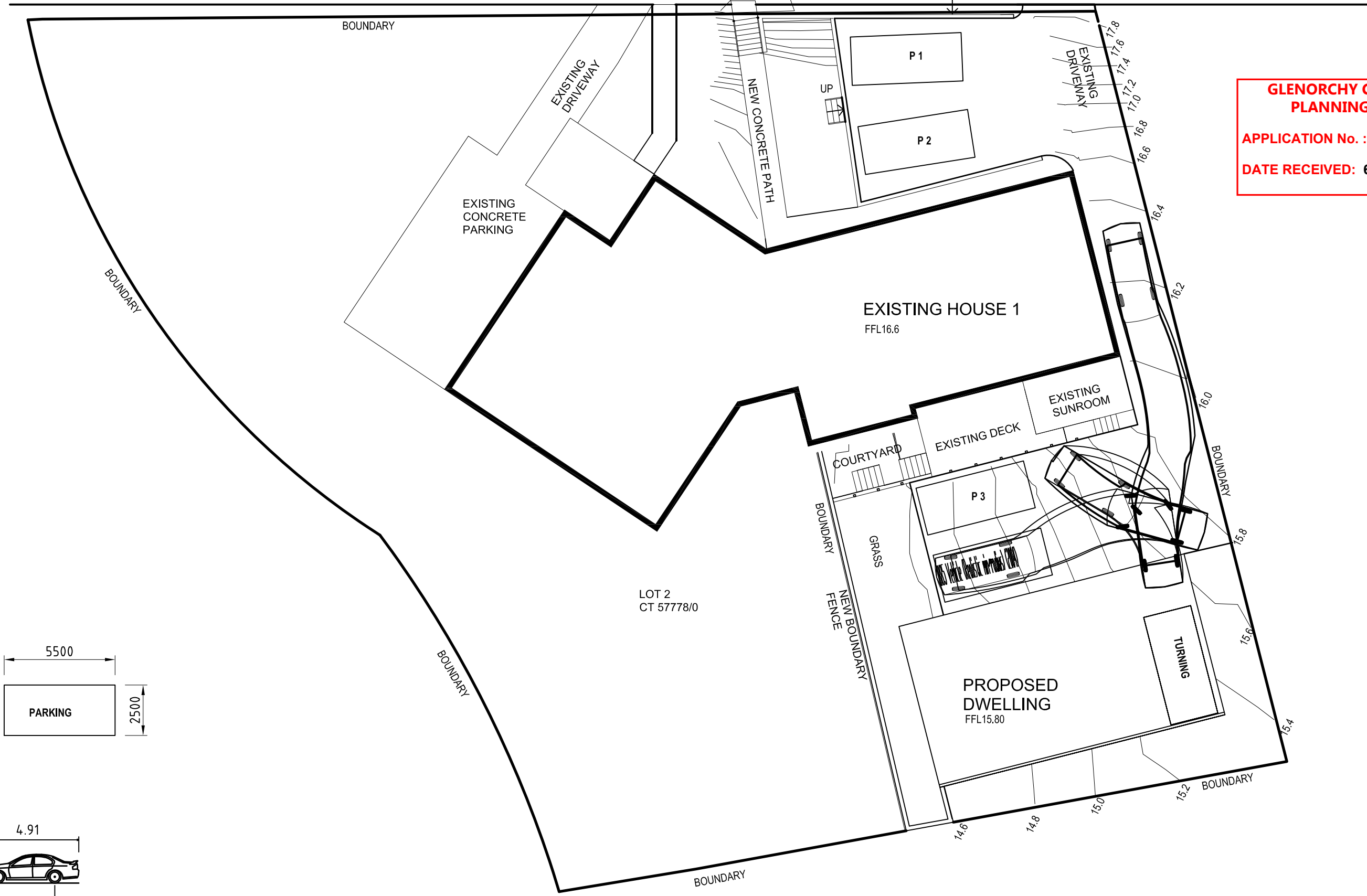
Date:
Jan 2026

Scale:	1:200	A3
Job No.	4944	
Drawing No.	VM8	Rev.
		2

NEW 1200 BLOCK WALL(RW1)

MAIN ROAD MONTROSE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-25-178
DATE RECEIVED: 6 May 2026



BOUNDARY

EXISTING DRIVEWAY

NEW CONCRETE PATH

EXISTING DRIVEWAY

EXISTING CONCRETE PARKING

P 1

P 2

EXISTING HOUSE 1
FFL16.6

EXISTING SUNROOM

EXISTING DECK

COURTYARD

P 3

GRASS

LOT 2
CT 57778/0

PROPOSED DWELLING
FFL15.80

TURNING

BOUNDARY

NEW BOUNDARY
FENCE

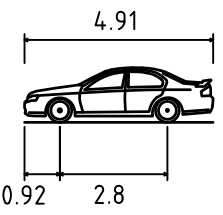
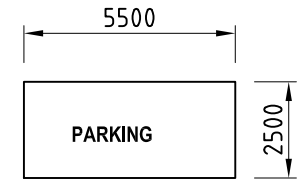
BOUNDARY

BOUNDARY

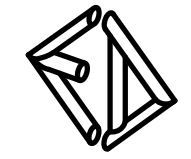
BOUNDARY

BOUNDARY

BOUNDARY



B85 Vehicle (Realistic min radius) (2004)	
Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
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Curb to Curb Turning Radius	5.750m



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VEHICLE MANOUVERING
PARK 4 - EXIT**

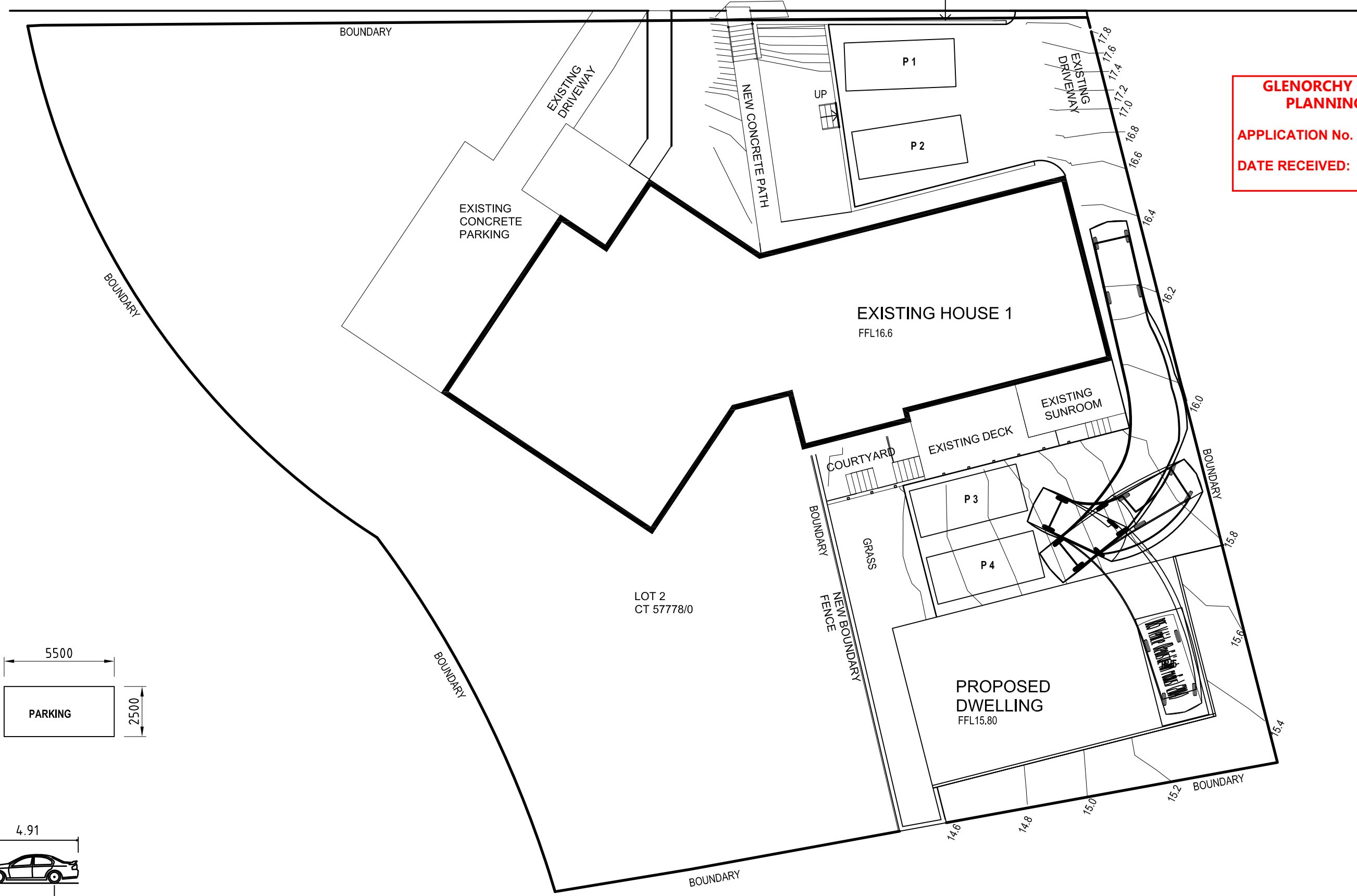
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Job No.	4944	
Drawing No.	VM9	Rev. 2

Date:
Jan 2026

NEW 1200 BLOCK WALL(RW1)

MAIN ROAD MONTROSE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-25-178
DATE RECEIVED: 6 May 2026



BOUNDARY

EXISTING DRIVEWAY

NEW CONCRETE PATH

EXISTING DRIVEWAY

EXISTING CONCRETE PARKING

P 1

P 2

EXISTING HOUSE 1
FFL16.6

EXISTING SUNROOM

EXISTING DECK

COURTYARD

P 3

P 4

GRASS

BOUNDARY

NEW BOUNDARY
FENCE

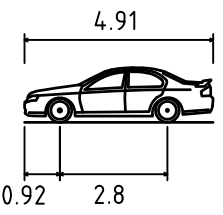
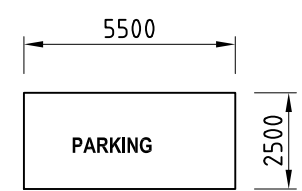
PROPOSED DWELLING
FFL15.80

LOT 2
CT 57778/0

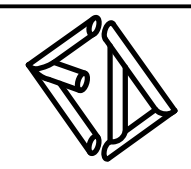
BOUNDARY

BOUNDARY

BOUNDARY



B85 Vehicle (Realistic min radius) (2004)	
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**PROPOSED UNIT DEVELOPMENT
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VEHICLE MANOUVERING
PARK 5 - EXIT**

Scale:	1:200	A3
Job No.	4944	
Drawing No.	VM11	Rev. 0
Date:	May 2026	

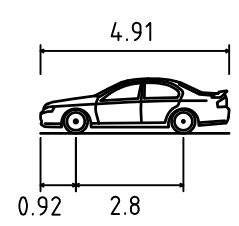
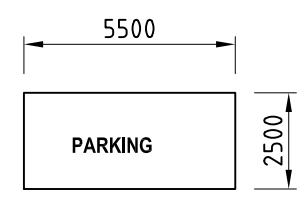
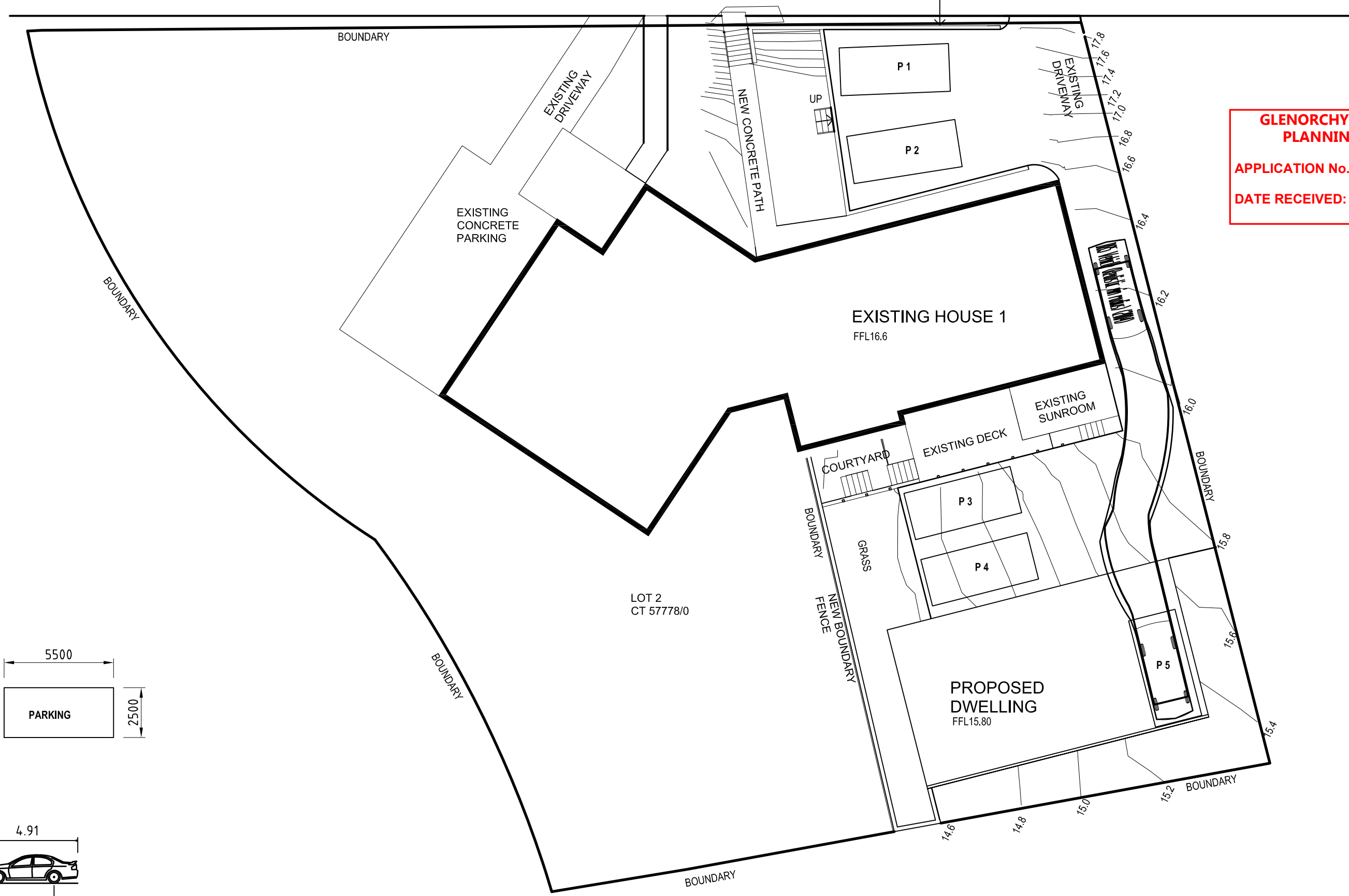
NEW 1200 BLOCK WALL(RW1)

MAIN ROAD MONTROSE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

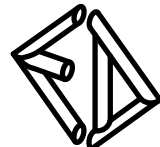
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B85 Vehicle (Realistic min radius) (2004)	
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Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	5.750m

Document Set ID: 3615182
Version: 1, Version Date: 14/05/2026



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PARK 5 - ENTRY**

Date:
May 2026

Scale:	1:200	A3
Job No.	4944	
Drawing No.	VM10	Rev. 0