

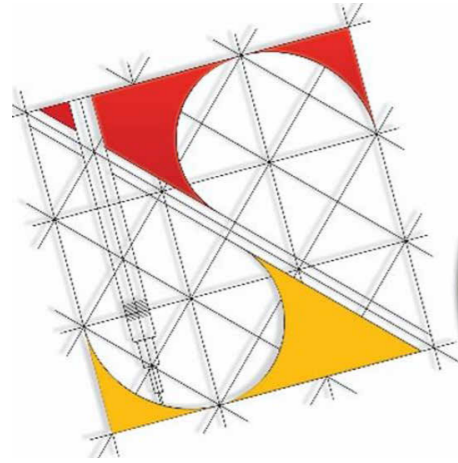
DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-064
PROPOSED DEVELOPMENT:	Multiple Dwellings (one existing and one new)
LOCATION:	31 Centenary Crescent, Claremont
APPLICANT:	Urban Space Designers
ADVERTISING START DATE:	05/06/2026
ADVERTISING EXPIRY DATE:	22/06/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **22/06/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **22/06/2026**, or for postal and hand delivered representations, by 5.00 pm on **22/06/2026**.



Urban Space Designers

Building Design and Drafting

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-26-064
DATE RECEIVED: 01/06/2026

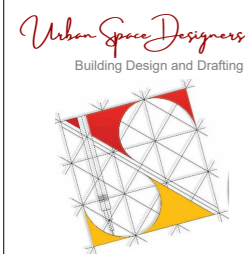
PROPOSED DWELLING

AT

31 CENTENARY CR, CLAREMONT, TAS- 7011

Sheet List		
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A04	ELEVATIONS EXISTING	1
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A06	PROPOSED FLOOR PLAN	1
A07	ELEVATIONS	1
A08	ELEVATIONS	1
A09	ROOF PLAN	1
A20	SHADOWS	1
A21	SHADOWS	1

MULTIPLE DWELLINGS RESIDENTIAL DEVELOPMENT SUMMARY (2 NOS. - 1 EXISTING + 1 NEW)			
Sno.	Description	AREA SQM.	%
1	SITE AREA	658	100%
2	GREEN AREA	198.70	30.20%
3	PROPOSED BUILT UP AREA		
A	EXISTING DWELLING		
a	Ground Floor (Incl. portico)	85.00	
	BUILT UP AREA	85.00	
B	PROPOSED DWELLING		
a	Ground Floor (Incl. portico)	96.30	
	TOTAL BUILT UP AREA	96.30	
	GROUND COVER	181.30	
4	CONCRETE AREA (DRIVEWAY + PARKING)	278.00	42.25%
5	IMPERVIOUS SURFACE		
	BUILDING GRD COVER	181.30	27.55%
	CONCRETE/DRIVEWAY	278.00	42.25%
	TOTAL IMPERVIOUS SURFACE	459.3	69.80%
6	PERVIOUS SURFACE		
	GREEN AREA	198.7	
	TOTAL PERVIOUS SURFACE	198.7	30.20%



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VIC - DP-AD 72846

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Client:
Pawan Malhotra
Project:
ADDITIONAL DWELLING
Address:
31 CENTENARY CRESCENT,
CLAREMONT, TAS - 7011

Rev	Description	Date
1	Drawings updated as per RFI dt. 20 April 2026	18/05/2025

DESIGN DRAWINGS
CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.
ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.

Sheet:
COVER SHEET
Drawn: GK
Scale: **Size:** A3 **Date:** 10/03/2026
Project: 31CCC/TAS/ARCH-2026 **Sheet No.:** A00 **Rev:** 1

GENERAL NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH BUILDING ACT 1993, BUILDING REGULATIONS 2018, NCC 2022 AND RELEVANT STANDARDS THE BUILDER AND SUBCONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, RELEVANT LEVELS AND DIMENSIONS ON-SITE PRIOR TO COMMENCING ANY BUILDING WORKS OR PREFABRICATION. ARCHITECTURAL DRAWING SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERING COMPUTATIONS OR STRUCTURAL DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. BUILDER TO ADHERE TO ALL BUILDING PERMIT CONDITIONS AND PLANNING PERMIT CONDITIONS. PLEASE CONSULT ARCHITECT IF THERE ARE ANY DISCREPANCIES. ALL MATERIALS & METHODS OF CONSTRUCTION SHALL COMPLY WITH RELEVANT S.A.A CODES, NCC 2022 AND LOCAL COUNCIL BY- LAWS.

DO NOT SCALE DRAWINGS

PROVIDE IMPERVIOUS FLOOR & WALL FINISHES TO ALL WET AREAS IN ACCORDANCE WITH NCC PART 10.2
CONNECT STORMWATER AND SULLAGE DRAINS INTO LEGAL POINTS OF DISCHARGE ALL DRAINS SHALL COMPLY WITH LOCAL AUTHORITIES REGULATIONS AND AS3500.3-2015
PROVIDE 90MM DIA. AGRICULTURAL DRAINS TO THE BASE OF ALL EXCAVATIONS BANKS AND RETAINING WALLS. CONNECT TO STORMWATER VIA SILT PIT. SMOKE ALARMS TO COMPLY WITH AS3786-2014.
SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 9.5. SMOKE ALARMS MUST BE INTERCONNECTED DIRECTLY TO MAINS POWERS. REFER TO SOIL REPORT FOR SOIL CLASSIFICATIONS AND FOUNDING DEPTHS. ALL EXPOSED STEEL TO BE HOT DIPPED GALVANISED.
PROVIDE MECHANICAL VENTILATION IN ACCORDANCE WITH NCC PART 10.6 AS REQUIRED. ALL EXHAUST FANS ARE TO DISCHARGE TO THE EXTERIOR OF THE BUILDING.

PART 4 FOOTINGS & SLABS

REINFORCED CONCRETE STRIP FOOTINGS & PAD FOOTINGS TO ENGINEERS DESIGN. FOOTING CONSTRUCTION TO COMPLY WITH NCC PART 4.2 & AS2870-2011

PART 6 & 7 WALL FRAMING

TIMBER WALL FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684.3-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES.
PROVIDE DOUBLE STUD, STUMP & PAD UNDER ALL LOAD POINTS. ALL STRUCTURAL STEEL IS TO COMPLY WITH AS4100-1998 (R2016) WALL TIE DOWNS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 7 OF THE NCC 2022. THE TYPES OF WALL TIES DOWNS MAY BE INCLUSIVE OF METAL STRAPS BOLTS, SCREWS, COACH SCREWS AND FRAMING ANCHORS.
ALL EXTERNAL STEEL LINTELS ARE TO BE HOT DIPPED GALVANIZED AND THE WALL TIES PROVIDED ARE TO BE STAINLESS STEEL (PART 6.3 OF THE NCC 2022).

PART 5 MASONRY

ALL MASONARY WORK IS TO COMPLY WITH AS4773-SET:2015 AND NCC PART 5.2

PART 4 & 5 CONCRETE STRUCTURES

ALL CONCRETE STRUCTURES ARE TO COMPLY WITH AS 3600-2009 AND NCC PART 4 & 5

INSULATION

REFER TO ENERGY REPORT FOR INSULATION REQUIREMENTS IN WALLS AND CEILINGS.
PROVIDE SOUND-DAMPENING AND SARKING TO METAL ROOFS: 50 MM THICK FIBERGLASS BLANKETS. SISILATION FLAMMABILITY INDEX NO GREATER THAN 5. SUPPLY AND INSTALL.

PART 8 WINDOWS/GLAZING

ALL WINDOWS SHALL CONFORM TO AS2047-2014 AND ALL GLAZING TO AS1288 -2006 & NCC PART 8.3
GLAZING WITHIN 2000MM OF THE F.F.L IN BATHROOMS OR ENSUITES IS TO BE GRADE A SAFETY GLASS
ALL SIZES SHOWN ARE NOMINAL AND SHOULD BE COMPARED TO MANUFACTURERS STANDARD SCHEDULE BEFORE CONSTRUCTION COMMENCES. NON-STANDARD WINDOWS TO HAVE SIZES CHECKED ON SITE PRIOR TO MANUFACTURING. REFER TO ELEVATIONS FOR SASH ARRANGEMENT. ALL WINDOW SIZES & CLEARANCES TO BE CHECKED ON SITE PRIOR TO MANUFACTURING.
GRADE A SAFETY GLASS IS REQUIRED TO ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS, SHOWER DOORS, SHOWER SCREENS, BATH ENCLOSURES, AND ASSOCIATED WINDOWS, WHERE THE LOWEST SIGHT LINE IS LESS THAN 2.0 M ABOVE THE HIGHEST ABUTTING FINISHED LEVEL OF THE FLOOR, BOTTOM OF THE BATH, OR SHOWER BASE PLEASE NOTE THAT WINDOWS CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING AND GREATER THEN 500MM IN WIDTH, 1M IN HEIGHT AND WITHIN 700MM OF THE FINISHED FLOOR ARE TO BE PROVIDED WITH A MID-HEIGHT MOTIF WITHIN ITS PANEL IN ACCORDANCE WITH PART 8.4 OF THE NCC 2022.

TIMBER FRAMING

TIMBER WALL FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684.3-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES. PROVIDE DOUBLE STUD, STUMP & PAD UNDER ALL LOAD POINTS. WALL BRACING LAYOUT IN CONJUNCTION WITH THE WALL TIE DOWN DETAILS (TOP PLATES TO STUDS) ARE TO COMPLY WITH AS1684-2010. WALL TIE DOWNS (TOP PLATES TO STUDS) ARE TO BE INSTALLED AT MINIMUM 1800 CTRS (EVERY 4TH STUD). THE TYPES OF WALL TIES DOWNS MAY BE INCLUSIVE OF METAL STRAPS, BOLTS, SCREWS, COACH SCREWS AND FRAMING ANCHORS. WALL BRACING NO GREATER THEN 9M APART.

TRUSS/POSISTRUTT

PROVIDE AN ELECTRONIC COPY OF THE ROOF TRUSS/POSISTRUTT MANUFACTURER'S DESIGN AND LAYOUT OF THE BEAMS ARE TO BE SUBMITTED PRIOR TO THE FRAME INSPECTION BEING CARRIED OUT. NOTE: THE FRAME INSPECTION WILL NOT BE CARRIED OUT UNTIL SUCH TIME THAT COPY OF FULL TRUSS COMPUTATIONS AND LAYOUT PLANS ARE PROVIDED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR. NOTE DISCS WILL NOT BE ACCEPTED

DRAINAGE

ALL EXISTING UNDERGROUND SERVICES ARE TO BE LOCATED PRIOR TO EXCAVATION FOR NEW PIPES LINES AND NO EXISTING SERVICE SHALL BE DISCONNECTED OR DISTURBED WITHOUT APPROVAL FROM ENGINEER.
STORM-WATER DRAINS SHALL BE 100MM DIAMETER AT A GRADE OF 1:100 UNLESS NOTED OTHERWISE.
ALL PIPE JUNCTIONS SHALL BE WITH A 45 DEGREE JOINT.
ALL U-PVC PIPES SHALL CONFORM TO AS1260-2009 "PVC-U PIPES AND FITTINGS FOR DRAIN, WASTE AND VENT APPLICATION"
THE SITE SHOULD BE DRAINED SO THAT THE WATER CANNOT POND AGAINST OR NEAR THE BUILDING. THE GROUND IMMEDIATELY ADJACENT TO THE BUILDING SHOULD BE GRADED TO FALL 50MM OVER THE FIRST METER. WHERE THIS IS IMPRACTICABLE (I.E. SEVERAL SLOPING SITES) USE AGGIE DRAINS ADJACENT TO THE FOOTINGS WHERE THE GROUND FALLS TOWARDS THE BUILDING.

FLOORING

REINFORCED CONCRETE FLOOR SLAB TO ENGINEERS DESIGN. CONSTRUCTION OF CONCRETE SLAB TO COMPLY WITH NCC PART 4.2 & AS2870

SUB-FLOOR

SUB-FLOOR VENTILATION IS TO BE INSTALLED AT A MINIMUM OF EVERY 6000MM² PER METER RUN OF WALL IN COMPLIANCE WITH PART 6.2 OF THE NCC 2022. THE SUB-FLOOR ACCESS DOOR IS TO BE LOCATED IN A READILY ACCESSIBLE POSITION.

ROOFING

TIMBER ROOF FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684.3-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES TIMBER ROOF TRUSSES AT 900MM CTS TO MANUFACTURERS SPECIFICATIONS PROVIDE GALV. IRON CROSS BRACING OVER ROOF TRUSSES EXPOSED COLORBOND GUTTERS AND FASCIAS. INSTALLED PER NCC 2022 PART 7. ALL ROOF STORMWATER DRAINAGE SHALL COMPLY WITH AS3500.3-2015 ENSURE ALL SARKING BENEATH ROOFS IS PROVIDED IN ACCORDANCE WITH PART 3.5 OF THE NCC, AND HAS A FLAMMABILITY INDEX OF NOT MORE THAN 5

STEEL PROTECTION

ALL EXTERNAL STEEL LINTELS ARE TO BE HOT DIPPED GALVANIZED AND THE WALL TIES PROVIDED ARE TO BE STAINLESS STEEL, PLEASE CONFIRM THIS ON PLAN. (PART6.3 OF THE NCC 2022).

STAIRS

STAIRS, STEPS & LANDINGS TO COMPLY WITH NCC. PART 11.2.
RISERS - 115MM MIN, 190MM MAX.
GOINGS - 240MM MIN 355MM MAX
HANDRAIL TO BE 865MM ABOVE NOSING OF TREAD
1000MM HIGH BALUSTRADING & 865 ABOVE STAIR NOSING
125MM MAXIMUM BETWEEN BALUSTERS
PROVIDE 2000MM MIN HEAD ROOM CLEARANCE FROM TREAD NOSING. MAX 3 RISERS OR 570MM WITHOUT A LANDING TO DOOR OPENING.
SLOPE RELATIONSHIP 2R + G 550MIN - 700MAX THE MAXIMUM GAP BETWEEN RISERS
IN OPEN STAIRS IS 125MM WHERE THE STAIR IS IN EXCESS OF 1000MM ABOVE THE ADJACENT FLOOR LEVEL.
ALL TREADS ARE TO HAVE A NON-SLIP FINISH OR A NON-SLIP STRIP IS TO BE PROVIDED TO THE NOSING.

HANDRAILS

A HANDRAIL IS TO BE PROVIDED ALONG AT LEAST ONE SIDE OF THE INTERNAL STAIRS. THE TOP SURFACE OF THE HANDRAIL IS TO BE NOT LESS THAN 865MM VERTICALLY ABOVE THE NOSINGS OF THE STAIR TREADS AND HAVE NO OBSTRUCTION ON OR ABOVE.

CONCRETE:

ALL CONCRETE MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE AS3600-2009 CONCRETE STRUCTURES CODE.
ALL CONCRETE SHALL BE CURED IN ACCORDANCE WITH AS3600- 2009.
ALL REINFORCEMENT TO BE LAID AND LAPPED TO MANUFACTURERS SPECIFICATIONS ON APPROVED BAR CHAIRS.
CONCRETE STRENGTH 25MPA (MIN) AT 28 DAYS.
ALL WORKS TO BE IN ACCORDANCE WITH AS2870-2011 - "RESIDENTIAL SLABS AND FOOTING CONSTRUCTION" OWNERS MUST RECOGNIZE THEIR RESPONSIBILITIES NOTED IN AS 2870-2011 AND MORE DETAIL IN C.S.I.R.O PUBLICATION "GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND PERFORMANCE."
ALL EXCAVATIONS SHOULD BE CAREFULLY INSPECTED BY A COMPETENT PERSON AND THIS OFFICE CONTACTED IMMEDIATELY IF CONDITIONS OTHER THAN THOSE DESCRIBED IN THE SOIL REPORT ARE ENCOUNTERED.
CONCRETE SLAB REINFORCED CONCRETE FLOOR SLAB TO ENGINEERS DESIGN. CONSTRUCTION OF CONCRETE SLAB TO COMPLY WITH NCC PART 4.2 & AS2870

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SURFACE DRAINAGE

THE GROUND BENEATH SUSPENDE FLOORS MUST BE GRADED SO THAT THE AREA BENEATH THE BUILDING IS ABOVE THE ADJACENT EXTERNAL FINISHED GROUND LEVEL AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING. TERMITE TREATMENT SITE TO BE TREATED AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS3660.1 TO LOCAL AUTHORITIES SATISFACTION AS3660.1 TERMITE MANAGEMENT REQUIRES A MINIMUM OF 400MM CLEARANCE FROM GROUND LEVEL TO THE UNDERSIDE OF THE BEARER (THIS CAN BE REDUCED TO 200MM ON A SLOPING SITE)

MECHANICAL VENTS

ANY CONTAMINATED AIR FROM A SANITARY COMPARTMENT OR BATHROOM MUST
A. EXHAUST DIRECTLY TO OUTSIDE THE BUILDING BY WAY OF DUCTS; OR
B. EXHAUST INTO THE ROOF SPACE PROVIDED-
(I) IT IS ADEQUATELY VENTILATED THAT COMPLIES WIT PART 10.8.3 OF THE NCC 2022
(II) THE ROOF IS CLAD IN ROOFING TILES WITHOUT SARKING OR SIMILAR MATERIALS WHICH WOULD PREVENT VENTING THROUGH GAPS BETWEEN TILES EXHAUST FAN DISCHARGE RATES TO BE
A. SANITARY COMPARTMENTS AND BATHROOMS - 25l/s
B. KITCHEN AND LAUNDRY - 40l/s

DOWNPIPES

100X50 OR 90MM DIAMETER DOWNPIPES ARE REQUIRED TO BE PROVIDED AT 12 METER MAXIMUM SPACING.
MINIMUM BOX GUTTER DIMENSIONS SHALL BE 200MM WIDE X 100MM DEEP.
ALL DOWNPIPES ARE TO BE CONNECTED TO THE APPROVED POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT BUILDING SURVEYOR.

WASTE PIPE LAGGING

PROVIDE SOUND ABSORBING INSULATION AROUND ALL WASTE PIPES FROM FIRST FLOOR WET AREAS (BATHROOMS/ENSUITES/LAUNDRY) TOILET DOORS ARE TO BE FITTED WITH REMOVABLE HINGES, OR ARE TO SWING OUT, OR BE SLIDING WHERE THE HINGE IS WITHIN 1200MM OF THE PAN.

WEEPHOLES

OPEN PERPENDICULAR JOINTS 'WEEPHOLES' MUST BE PROVIDED ABOVE ALL OPENINGS OVER 1200MM WIDE AND 1200MM CTRS IMMEDIATELY ABOVE THE DPC.

WET AREAS

TO COMPLY WITH AS3740-2010

PLIABLE BUILDING MEMBRANE

PLIABLE BUILDING MEMBRANE TO BE PROVIDED IN ACCORANCE WITH PART 10.8.1 OF THE BCA AND TO BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE.
ALL PLIABLE BUILDING MEMBRANES SHALL COMPLY WITH AS4200.1 AND INSTALLED IN ACCORDANCE WITH AS4200.2

BUSHFIRE ATTACK LEVEL

CLASSIFICATION TO BE DETERMINED BY REGISTERED BUILDING SURVEYOR IF REQUIRED.

FLASHING

ALL FLASHING TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 2904-1995 AND COMPLY WITH THE BCA

ARTICULATION JOINTS

ARTICULATION JOINTS ARE TO COMPLY WITH PART 5.6.8 OF THE NCC 2022 (MINIMUM EVERY 5M CENTRES).

LOGS FOR PILES OR PIERS


UPON COMPLETION, PROVIDE A COMPLETE COPY OF THE RECORDS FOR THE PILE/PIER DRIVING OPERATIONS

LIGHTING

MAINS ELECTRICITY SUPPLY, TELSTRA AND OTHERS TO BE LOCATED IN ACCORDANCE WITH THE RESPONSIBLE AUTHORITIES REQUIREMENTS. ALL ELECTRICAL SWITCHES AND POINTS SHALL BE INSTALLED IN ACCORDANCE WITH AS3000-2018, NCC AND ELECTRICAL AUTHORITIES REQUIREMENTS. PROVIDE SAFETY SWITCHES (RCD) TO ALL LIGHTING AND POWER POINT CIRCUITS.

Waterproofing to be constructed in accordance with AS4654.2

**GLENORCHY CITY COUNCIL
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 <p>Urban Space Designers Building Design and Drafting</p>	<p>Phone: 0402438170</p>	<p>The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies to Urban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. Do not scale from drawings. USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically. IF IN DOUBT ASK. The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works. The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.</p>	<p>Client: Pawan Malhotra</p>	<i>Rev</i>	<i>Description</i>	<i>Date</i>	DESIGN DRAWINGS	<p>Sheet: GENERAL NOTES</p>	
	<p>Email: info@urbanspacedesigners.com.au</p>		<p>Project: ADDITIONAL DWELLING</p>	1	<p>Drawings updated as per RFI dt. 20 April 2026</p>	<p>18/05/2025</p>		<p>CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings. ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.</p>	<p>Drawn: GK</p>
	<p>Website: www.urbanspacedesigners.com.au</p>		<p>Address: 31 CENTENARY CRESCENT, CLAREMONT, TAS - 7011</p>						<p>Scale: Size: A3 Date: 10/03/2026</p>
	<p>Accreditation: TAS - 381246362 VIC - DP-AD 72846</p>								<p>Project: 31CCC/TAS/ARCH-2026</p>

DEMOLITION NOTES

All materials and work practices shall comply with, but not limited to, the Building Regulations 2018, the National Construction Code Series 2022 Building Code of Australia Vol 2, and all relevant current Australian standards.

Buildings prior to 1990 MAY contain asbestos. Buildings prior to 1986 ARE LIKELY to contain Asbestos either in Cladding material or in Fire retardant insulation material. The Builder should check & if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

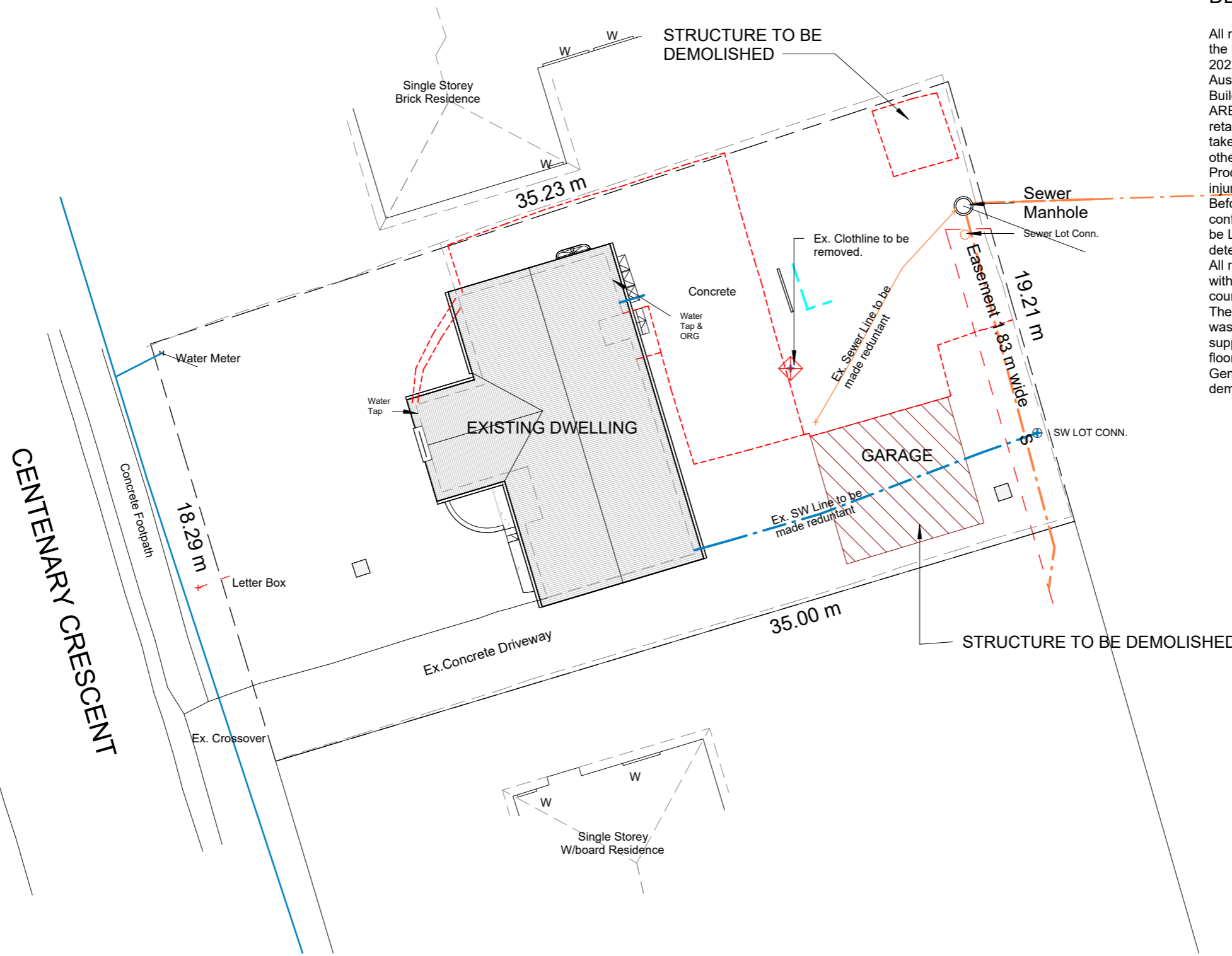
Procedures and methods of Demolition must be adequate to prevent injury to persons & avoid damage to neighboring property.

Before removing existing wall shown to be demolished, Builder shall confirm on - site whether they are Load bearing or not. If it is found to be Load - Bearing, a structural Engineer must be engaged to determine any beams required to support these loads.

All redundant stormwater, sewer and water connections associated with the demolition shall be cut & sealed to the satisfaction of council's Senior Plumbing Inspector.

The removal of existing plumbing fixtures shall include all associated waste & vent pipes, Floor Drains, water service pipework brackets, support etc. & seal off existing services, seal off & make good all floor, wall & roof penetrations.

Generally, make good to existing floors, walls, & ceilings where all demolition work occurs to match existing as & where required.



EXISTING SITE PLAN

1 : 200

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
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Accreditation:
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The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.

Client:
Pawan Malhotra

Project:
ADDITIONAL DWELLING

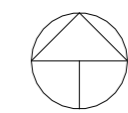
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Sheet: EXISTING SITE PLAN		
Drawn: GK		
Scale: 1 : 200	Size: A3	Date: 10/03/2026
Project: 31CCC/TAS/ARCH-2026	Sheet No.: A02	Rev: 1

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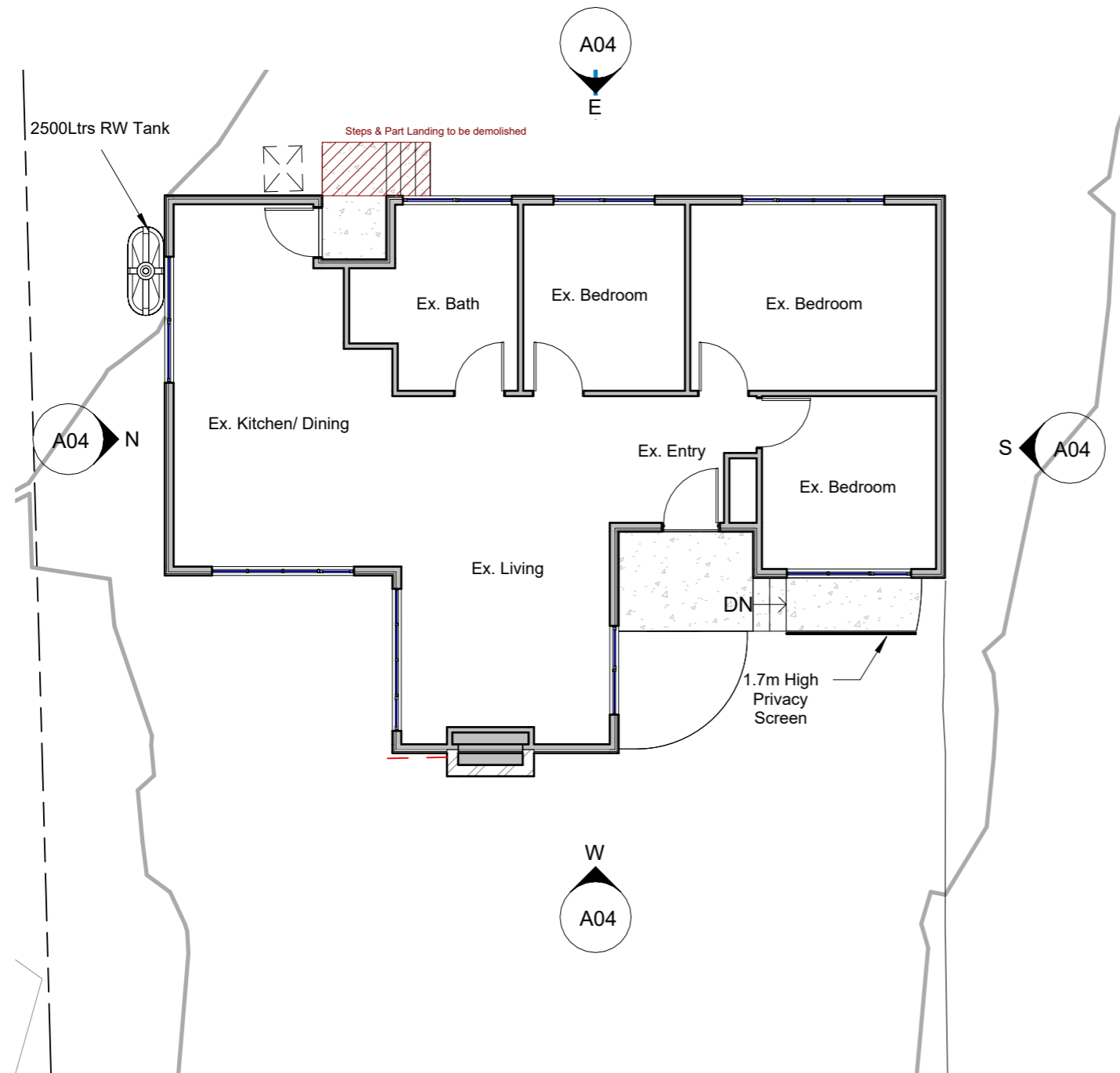
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Before removing existing wall shown to be demolished, Builder shall confirm on - site whether they are Load bearing or not. If it is found to be Load - Bearing, a structural Engineer must be engaged to determine any beams required to support these loads.

All redundant stormwater, sewer and water connections associated with the demolition shall be cut & sealed to the satisfaction of council's Senior Plumbing Inspector.

The removal of existing plumbing fixtures shall include all associated waste & vent pipes, Floor Drains, water service pipework brackets, support etc. & seal off existing services, seal off & make good all floor, wall & roof penetrations.

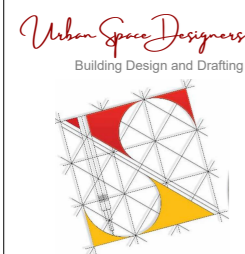
Generally, make good to existing floors, walls, & ceilings where all demolition work occurs to match existing as & where required.



EXISTING FLOOR PLAN

1 : 100

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APPLICATION No. : PLN-26-064
DATE RECEIVED: 01/06/2026



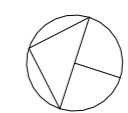
Phone:
0402438170
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Website:
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Accreditation:
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VIC - DP-AD 72846

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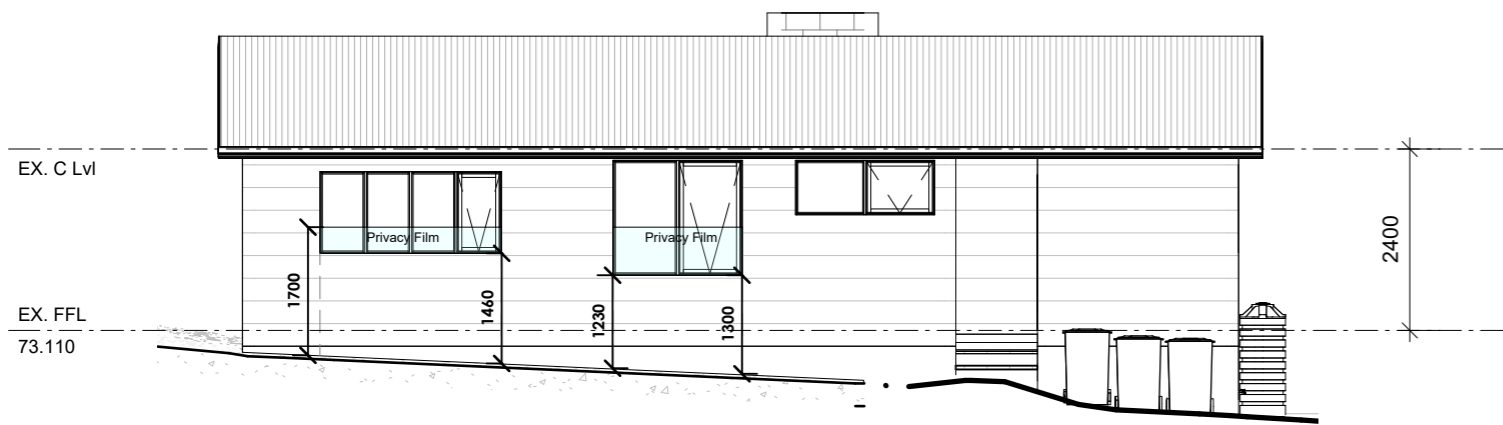
Client:
Pawan Malhotra
Project:
ADDITIONAL DWELLING
Address:
31 CENTENARY CRESCENT,
CLAREMONT, TAS - 7011

Rev	Description	Date
1	Drawings updated as per RFI dt. 20 April 2026	18/05/2025

DESIGN DRAWINGS
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Sheet: EXISTING FLOOR PLAN			
Drawn: GK			
Scale: 1 : 100	Size: A3	Date: 10/03/2026	
Project: 31CCC/TAS/ARCH-2026	Sheet No.: A03	Rev: 1	



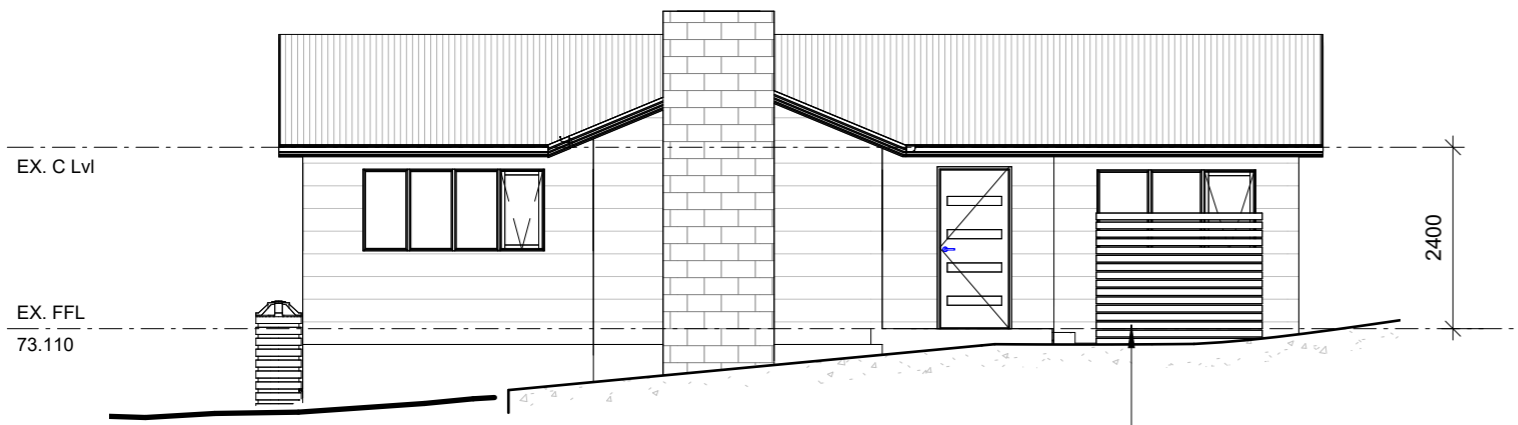
EX. EAST ELEVATION

1 : 100



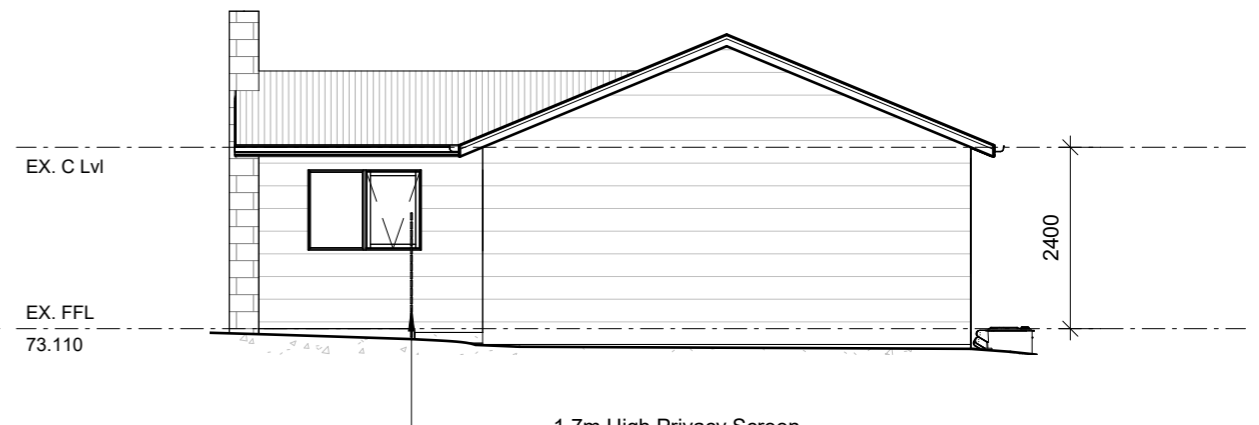
EX. NORTH ELEVATION

1 : 100



EX. WEST ELEVATION

1 : 100



EX. SOUTH ELEVATION

1 : 100

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-26-064
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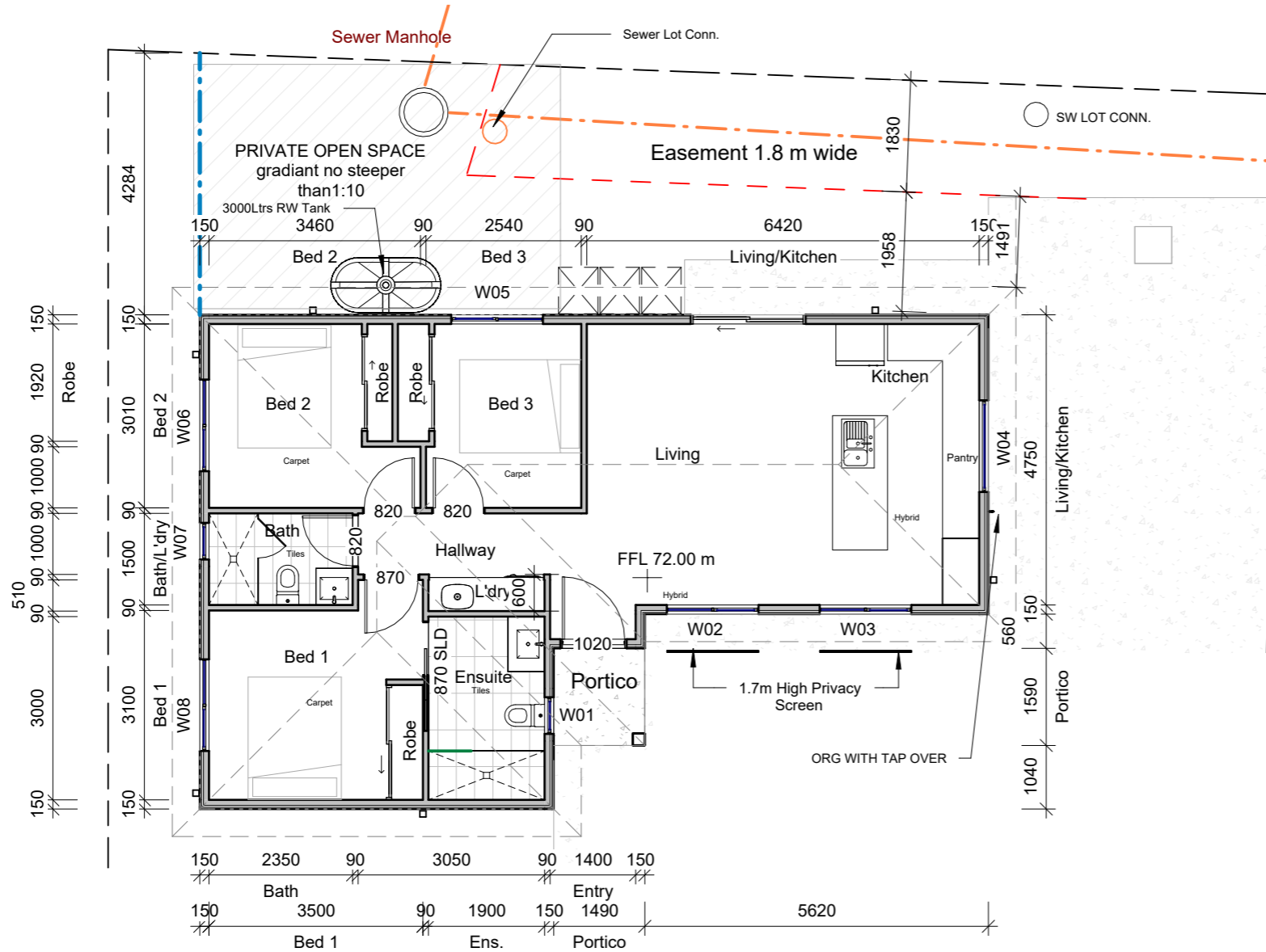
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Sheet: ELEVATIONS EXISTING			
Drawn: GK			
Scale: 1 : 100	Size: A3	Date: 10/03/2026	
Project: 31CCC/TAS/ARCH-2026	Sheet No.: A04	Rev: 1	



GROUND FLOOR

1 : 100

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;

- (a) in a habitable room excluding a kitchen - 2.4 m ; and
- (b) in a kitchen - 2.1 m ; and
- (c) in a corridor, passageway or the like - 2.1 m ; and
- (d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m ; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items
- (f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite , the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact USD before undertaking works.

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:

100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended Floor Framing

U.N.O in builders specifications or located in Saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints. As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4 m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125 mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

- Riser: Min 115mm - Max 190mm
- Going: Min 240mm - Max 355mm
- Slope (2R+G): Max 550mm - Min 700mm

ARTIFICIAL LIGHTING NOT TO EXCEED:

- 5W/M² FOR DWELLING
- 4W/M² FOR VERANDAH, BALCONY
- 3W/M² FOR GARAGE

ENERGY RATING
INSULATION
WALL : R2.5
ROOF : R5.0

ALL INTERNAL DOORS TO BE 2340 HIGH INCLUDING
ALL ROBE AND LINEN DOORS UNLESS MENTIONED

NOTES:

ROOF LAYOUT DESIGN SHOWN IS FOR GUIDE PURPOSES ONLY, SEE THE ROOF MANUFACTURES DRAWINGS FOR EXACT DESIGN.

CHECK ON SITE BEFORE COMMENCING
PLEASE CHECK ALL DIMENSIONS



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Project:
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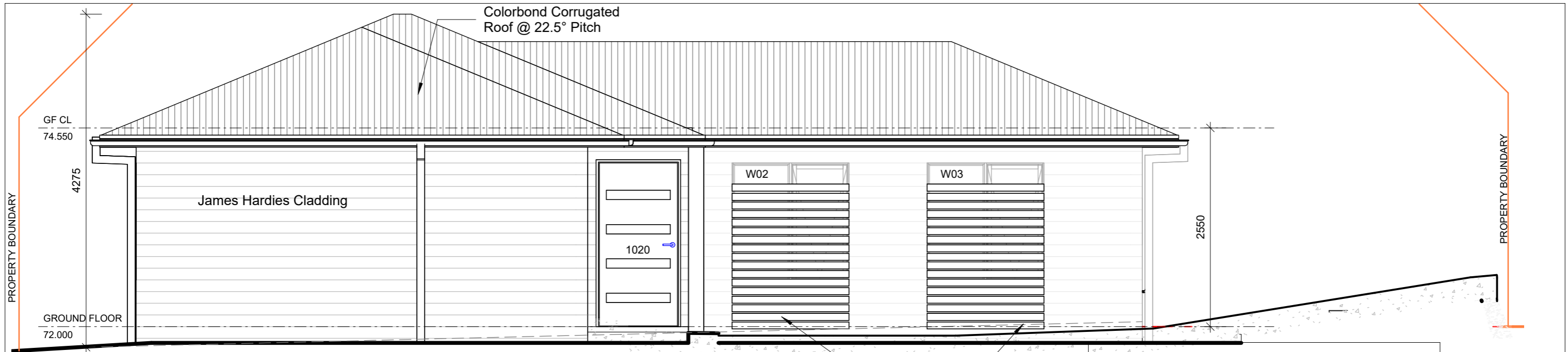
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Sheet: PROPOSED FLOOR PLAN		
Drawn: GK		
Scale: 1 : 100	Size: A3	Date: 10/03/2026
Project: 31CCC/TAS/ARCH-2026	Sheet No.:	Rev:
	A06	1



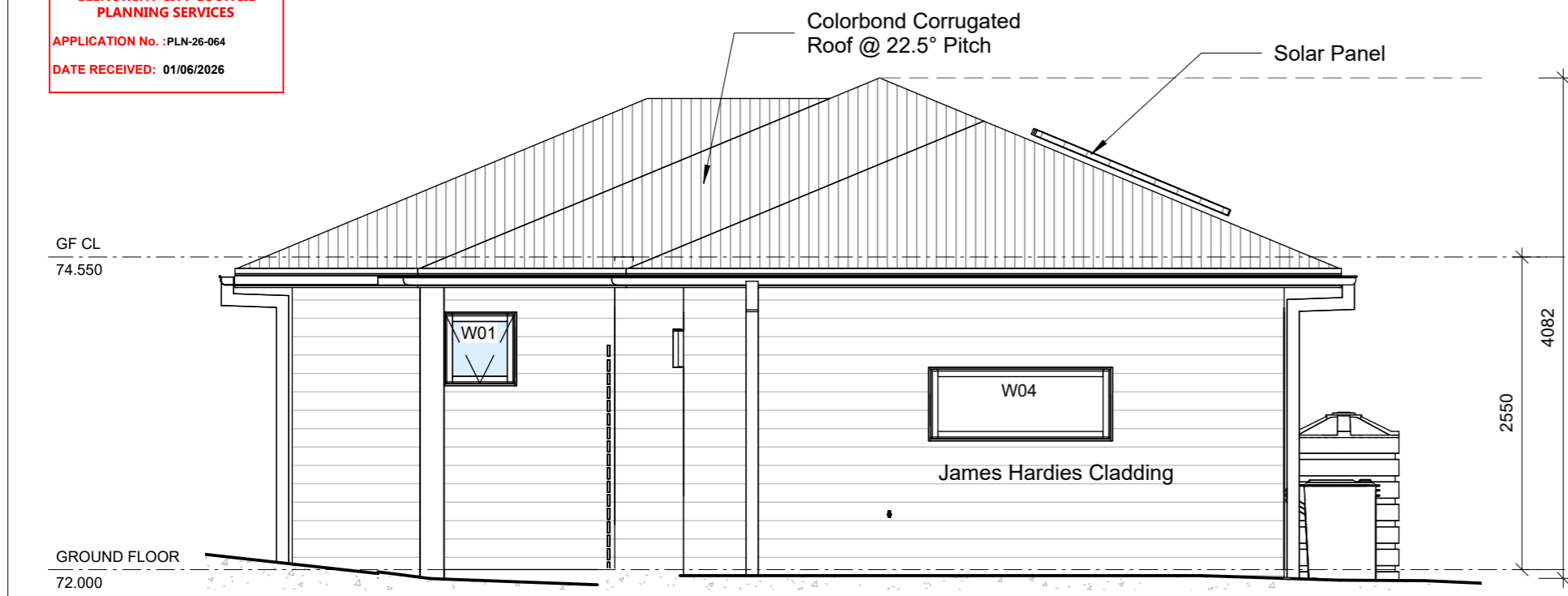
WEST ELEVATION

1 : 50

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-26-064
DATE RECEIVED: 01/06/2026

Window Schedule

Number	Height	Width	Head Height	Sill Height
W01	600	600	2100	1500
W02	1500	1500	2100	600
W03	1500	1500	2100	600
W04	600	1500	1650	1050
W05	1500	1500	2100	600
W06	1500	1500	2100	600
W07	600	600	2100	1500
W08	1500	1500	2100	600



SOUTH ELEVATION

1 : 50

STRUCTURAL ENGINEERING DISCLAIMER:
ALL STRUCTURAL METHODS SET OUT IN THIS ARCHITECTURAL DOCUMENTATION PACKAGE, EITHER DIAGRAMMATICAL OR ANNOTATED ARE NEITHER EXCLUSIVELY OR EXHAUSTIVE, AND ARE IN ALL CASES SUPERSEDED BY THE RELEVANT STRUCTURAL ENGINEERING DOCUMENTATION. REFER TO STRUCTURAL ENGINEERS DOCUMENTATION AND COMPUTATIONS FOR ALL ENGINEERING METHODS.

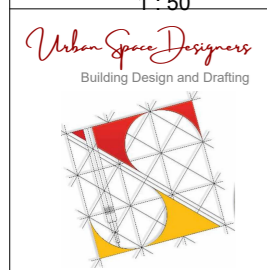
ALL ROOF PENETRATIONS AND FLASHINGS AS PER THE NCC 2022 PART 7.2.7 WET AREA COMPLIANCE WITH AS3740.
THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING.

WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS IF NOT CLEAR PLEASE CONFIRM DIMENSIONS BEFORE COMMENCE WORK ON SITE

INFORMATION CONTAINED IN THE SOIL REPORT REGARDING CONTROL JOINTS TAKES RECEDENCE.

WEEPHOLES -
WEEP HOLES AT 1.2 METRE SPACING AND ABOVE WINDOWS MORE THAN 1.0 METRE WIDE.

NOTE: PROVIDE WEEPHOLES AT 960MM MAXIMUM CENTRES WITH CONTINUOUS FLASHING WHERE THE BRICKWORK EXTENDS OVER THE OPENINGS



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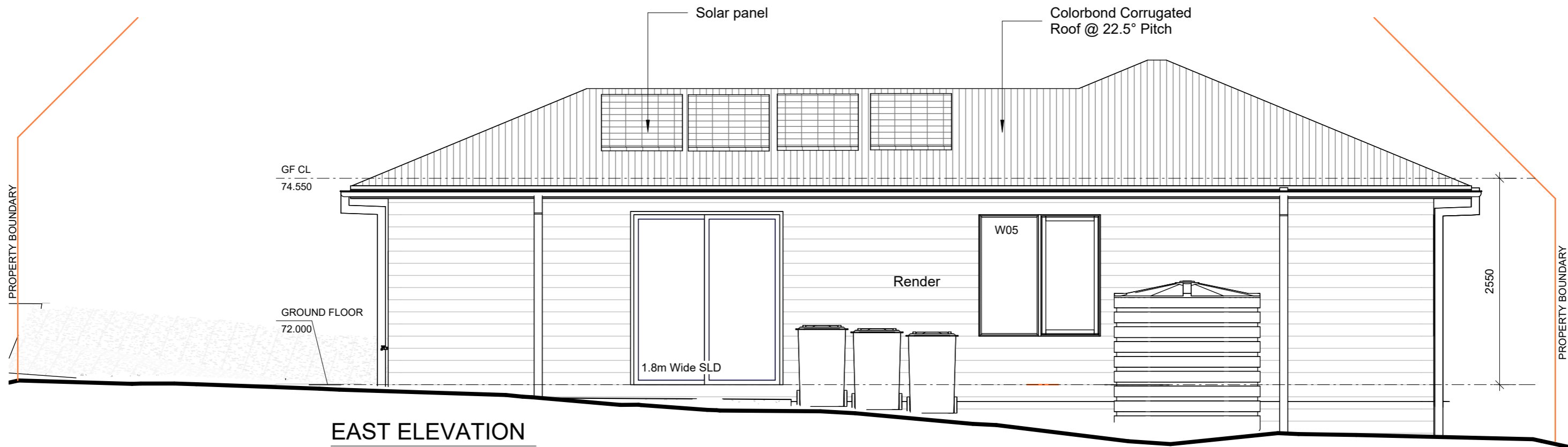
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Project:
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Rev	Description	Date
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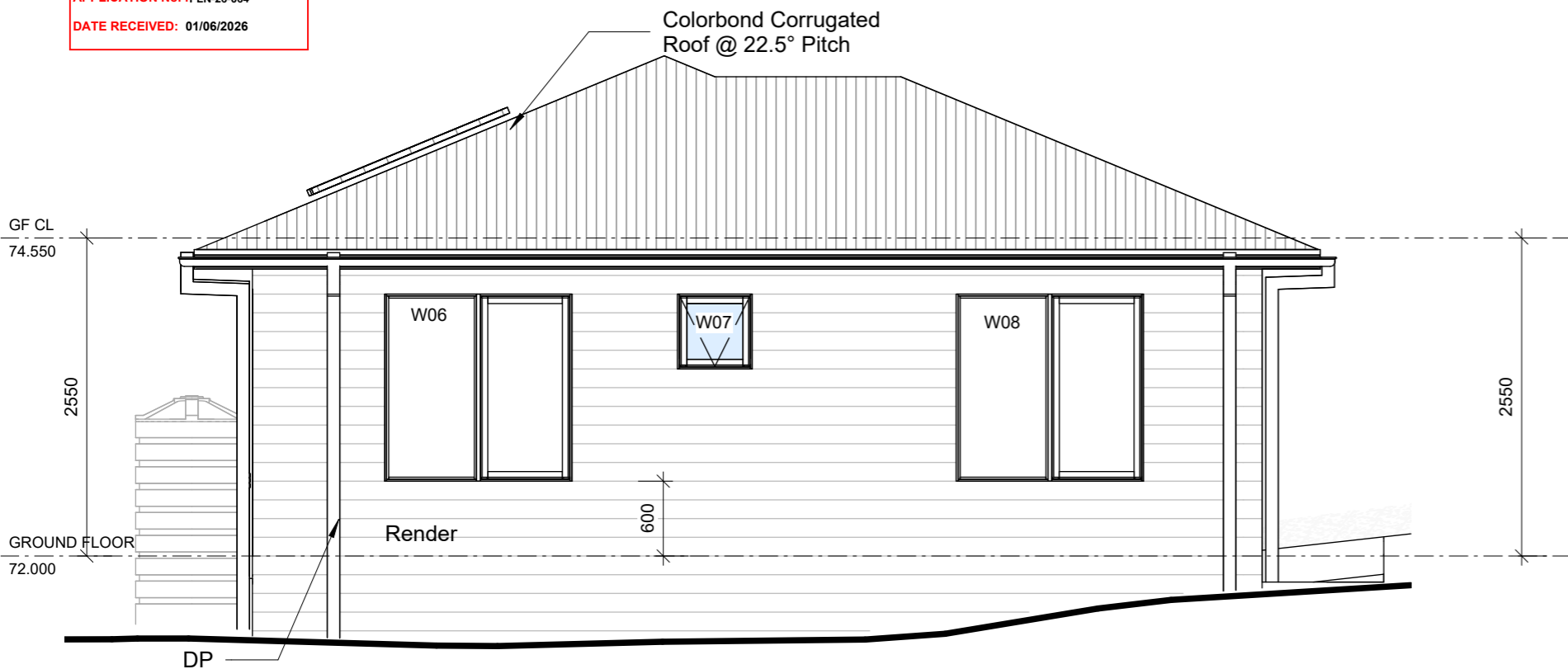
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Drawn: GK		
Scale: 1 : 50	Size: A3	Date: 10/03/2026
Project: 31CCC/TAS/ARCH-2026	Sheet No.: A07	Rev: 1



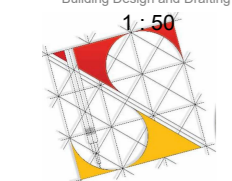
EAST ELEVATION

1 : 50

**GLENORCHY CITY COUNCIL
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APPLICATION No. : PLN-26-064
DATE RECEIVED: 01/06/2026



NORTH ELEVATION



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Project: **ADDITIONAL DWELLING**
Address: **31 CENTENARY CRESCENT, CLAREMONT, TAS - 7011**

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W03	1500	1500	2100	600
W04	600	1500	1650	1050
W05	1500	1500	2100	600
W06	1500	1500	2100	600
W07	600	600	2100	1500
W08	1500	1500	2100	600

NOTE:
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or
50mm above impermeable areas that slope away from the building; or
150mm in any other case.
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.
U.N.O in builder's specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.
As per NCC parts 11.3.7 and 11.3.8, Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so that a 125mm sphere cannot pass through, and withstand a force of 250N.
Except for bedrooms, where the requirement is for heights above 2m.
All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
· Riser: Min 115mm - Max 190mm
· Going: Min 240mm - Max 355mm
· Slope (2R+G): Max 550 - Min 700

Sheet: **ELEVATIONS**
Drawn: **GK**
Scale: **1 : 50** Size: **A3** Date: **10/03/2026**
Project: **31CCC/TAS/ARCH-2026** Sheet No.: **A08** Rev: **1**

Gutter and Down Pipes - NCC 2022 Part 7.4

- Colorbond metal fascias and gutters.
- Eaves gutters installed with a fall of 1:500 (normally).
- Box gutters fall of 1:100.
- Spacing between downpipes maximum 12m.
- Downpipes to be located 1.2m from a valley or provisions made for overflow.
- Gutters and downpipes to be selected in accordance with NCC Vol 2 Part 7.4.3 and table

7.4.3b

and 7.4.3c.

Zincalume color (B.M.T) 0.500 protected steel sheet to Australian Standard AS139\ Fascia clips/brackets shall be attached to fascia /barge at a max 1.2m centres using recommended fasteners.

Ventilation of Roof Spaces NCC 2022 Part 10.8.3

A roof must have a roof space that-

- (a) is located-
 - (i) immediately above the primary insulation layer; or
 - (ii) immediately above sarking with a vapour permeance of not less than 1.14 $\mu\text{Eg}/\text{N.s}$, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3;
 - or
 - (ii) located immediately underneath the roof tiles or an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roof Cladding

R5.0 Insulation batts to roof space above ceiling lining.
Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

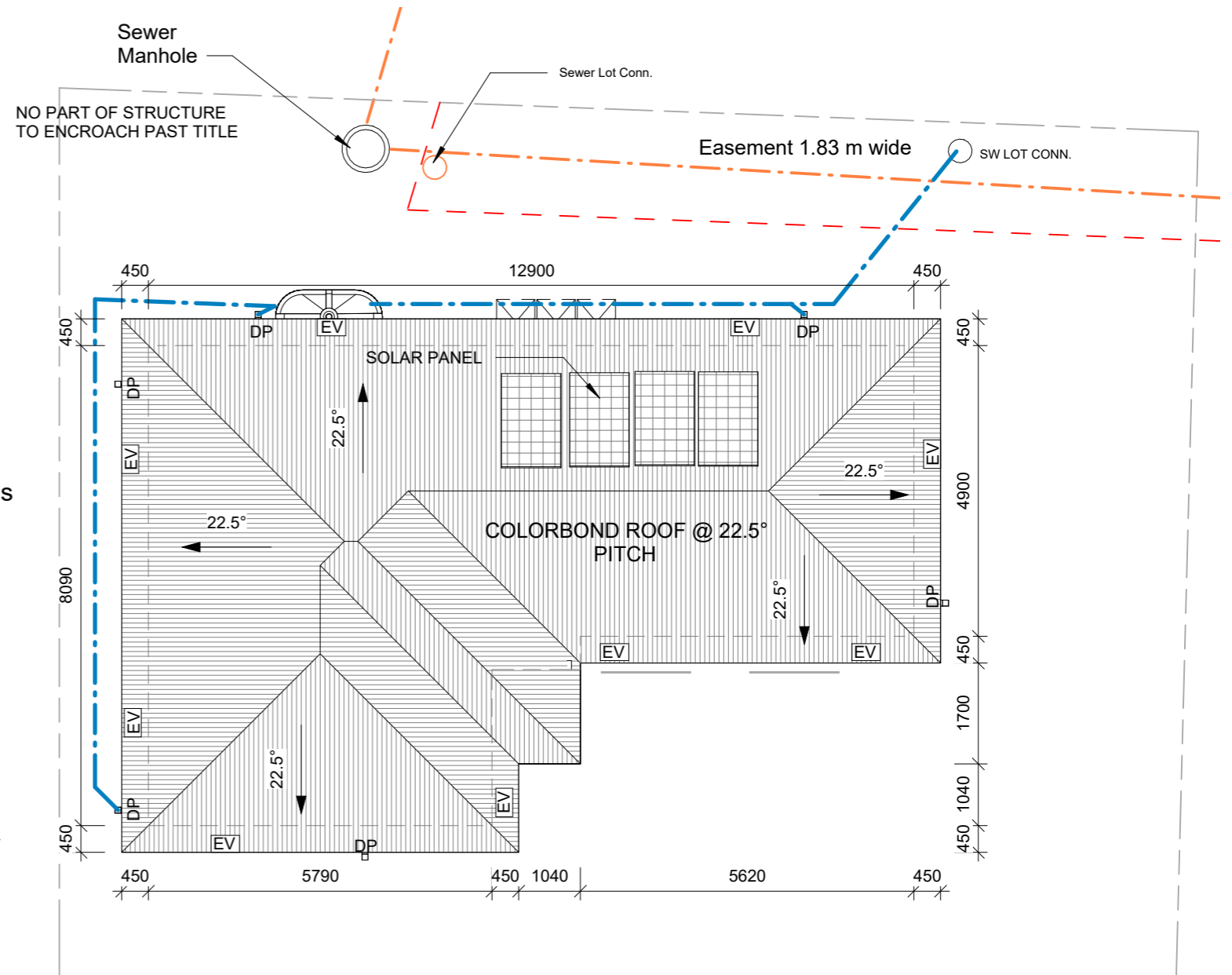
- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 x~ 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

F8D3 External wall construction

2 (b) for climate zone 6,7,& 8, 1.14 $\mu\text{g}/\text{N.s}$

Class 4 vapour control membranes meet the vapour permeance requirements of F8D3(2)(b)

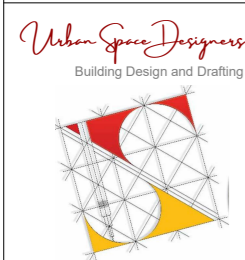


ROOF PLAN

1 : 100

NOTES:
ROOF LAYOUT DESIGN SHOWN IS FOR GUIDE PURPOSES ONLY, SEE THE ROOF MANUFACTURERS DRAWINGS FOR EXACT DESIGN.
CONCRETER / BUILDER TO MAKE SURE THAT MIN. 385 TO BE EXCAVATED BELOW FLOOR LEVEL IN RESIDENCE AND GARAGE FOR A WAFFLE SLAB.
CHECK ON SITE BEFORE COMMENCING BEFORE COMMENCING ON SITE PLEASE CHECK ALL DIMENSIONS

GLENORCHY CITY COUNCIL
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APPLICATION No. : PLN-26-064
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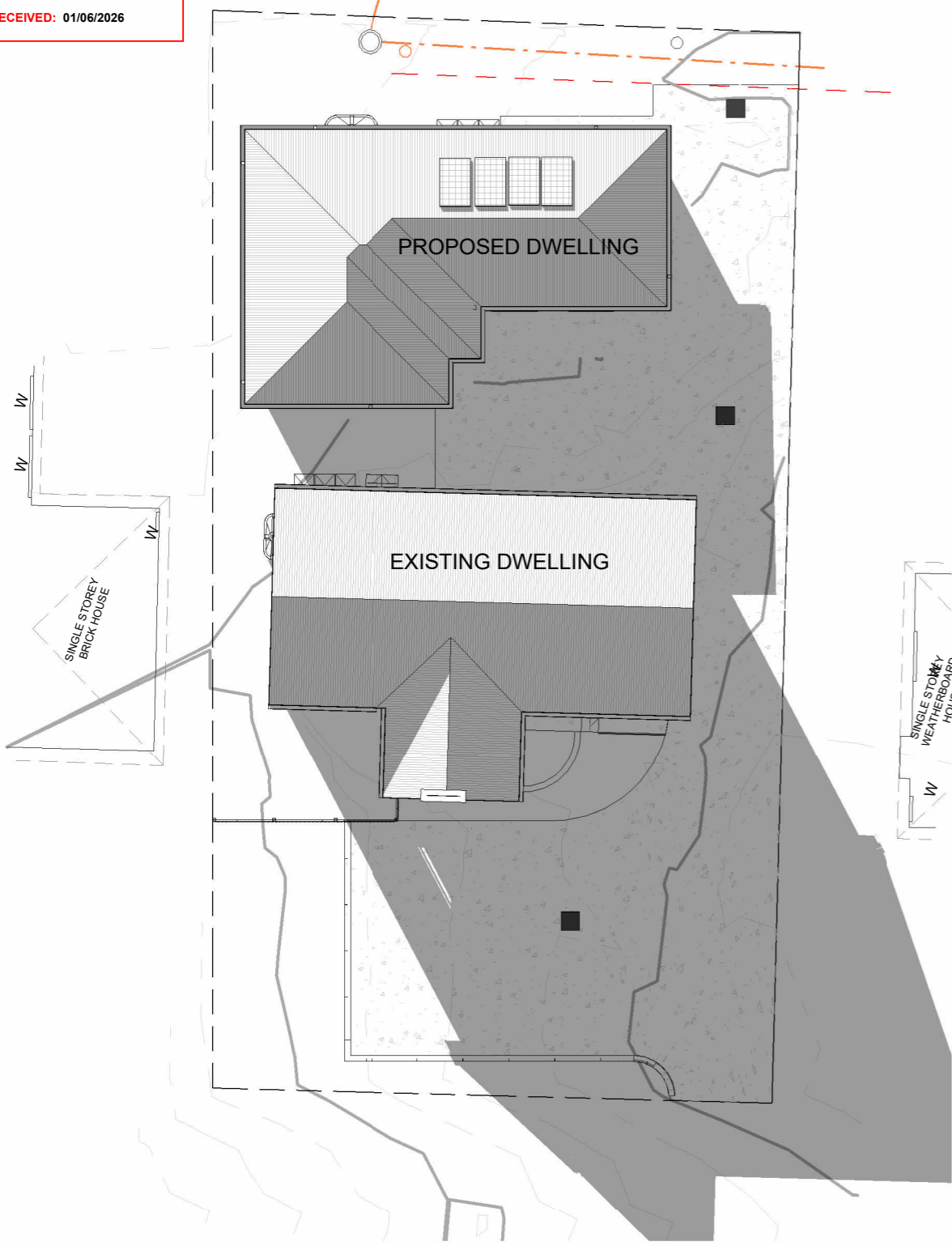
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Sheet: ROOF PLAN		
Drawn: GK		
Scale: 1 : 100	Size: A3	Date: 10/03/2026
Project: 31CCC/TAS/ARCH-2026	Sheet No.: A09	Rev: 1

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SHADOW @ 0900AM

1 : 200



SHADOW @ 1200PM

1 : 200



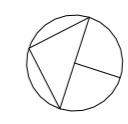
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Sheet: SHADOWS			
Drawn: GK			
Scale: 1 : 200	Size: A3	Date: 10/03/2026	
Project: 31CCC/TAS/ARCH-2026	Sheet No.: A20	Rev: 1	



SHADOW @ 0300PM

1 : 200



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DESIGN DRAWINGS

CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.
ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.



Sheet:

SHADOWS

Drawn: GK

Scale: 1 : 200 Size: A3 Date: 10/03/2026

Project:
31CCC/TAS/ARCH-2026

Sheet No.:
A21

Rev:
1



MATRIX

ENGINEERING CONSULTANTS

STRUCTURAL - CIVIL - STORMWATER- REMEDIAL- GEOTECH

PROPOSED NEW RESIDENCE FOR URBAN SPACE DESIGNERS

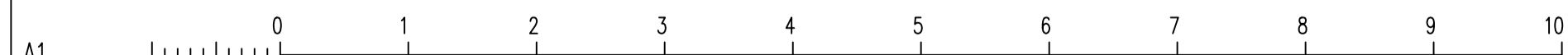
ADDRESS

31 CENTENARY CRESCENT
CLAREMONT TAS 7011

PROJECT No.

MEC-CD-26107

INDEX OF DRAWINGS	
SHEET NO.	DRAWING SHEET NAME
C0.0	COVER SHEET & INDEX OF DRAWINGS
C1.0	SWEPT PATH ANALYSIS - ENTRY TO CARPARK
C1.1	SWEPT PATH ANALYSIS - EXIT FROM CARPARK
C1.2	LONGITUDINAL PLAN AND PROFILE - DRIVEWAY/CARPARK



No	REVISION	ENG	DRAFT	DATE
1	REVISION A	AP	MS	26/05/2026

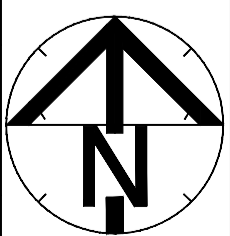
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ARCHITECT URBAN SPACE DESIGNERS

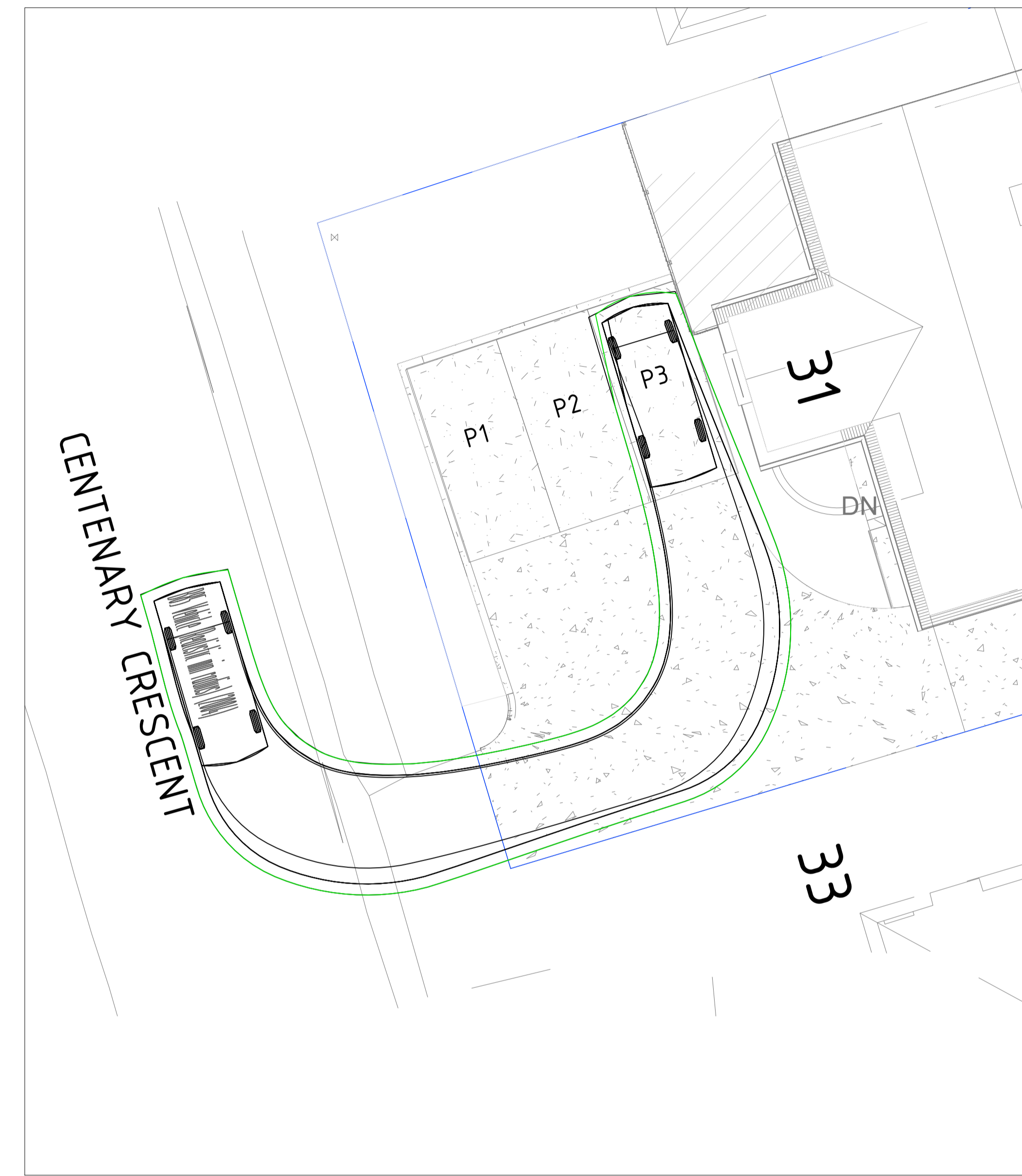
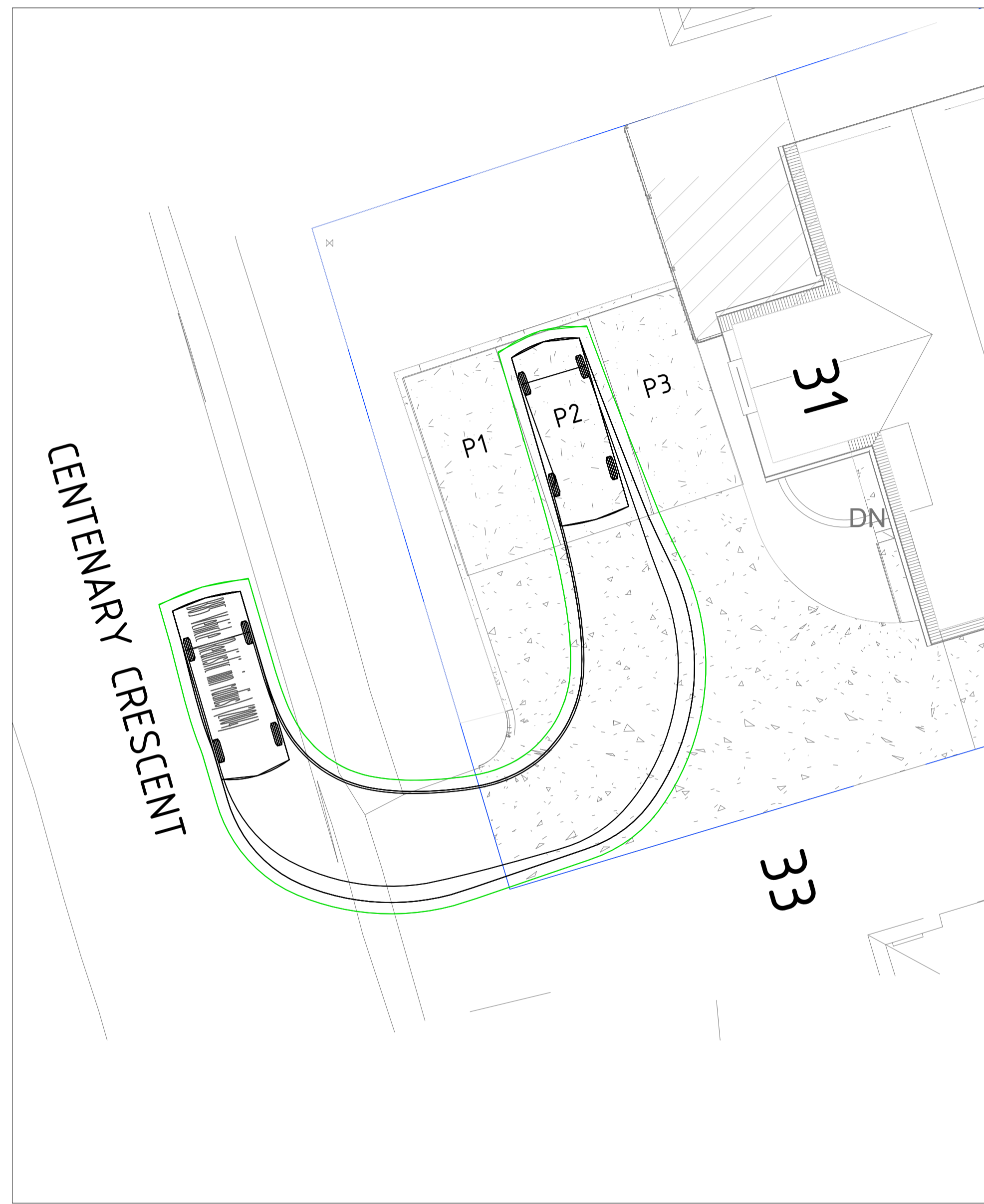
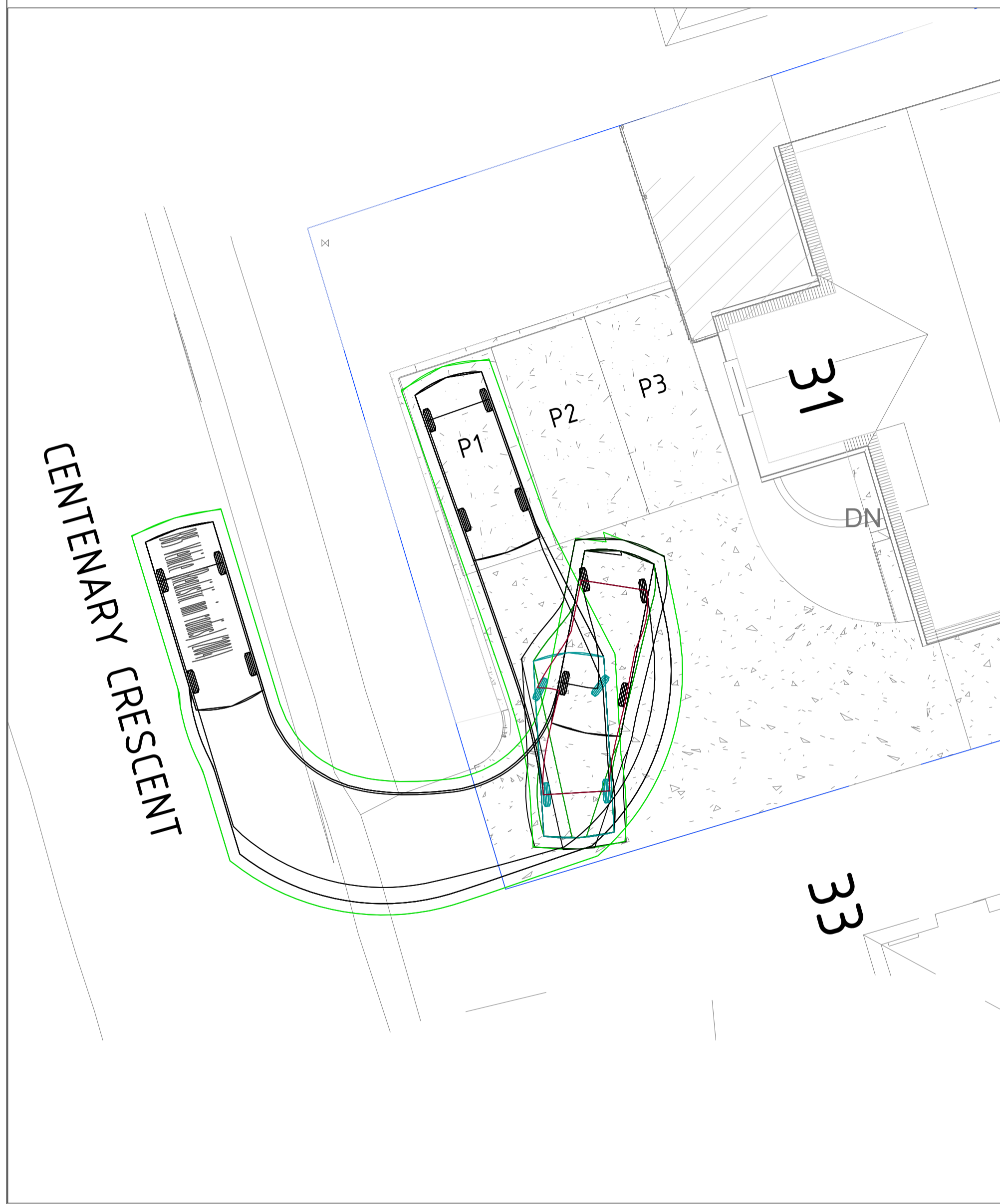
COMPANY LOGO

PROJECT 31 CENTENARY CRESCENT CLAREMONT TAS 7011
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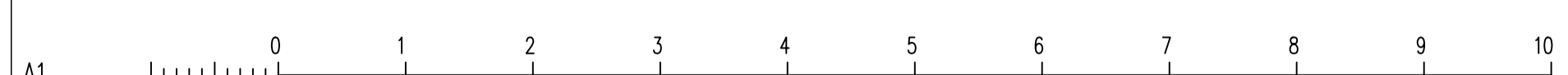
SHEET SUBJECT COVER SHEET & INDEX OF DRAWINGS
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PROJECT 31 CENTENARY CRESCENT CLAREMONT TAS 7011	DATE 26/05/2026	DRAWN MS	DESIGNED MS	CHECKED AP
SCALE @ A3 AS SHOWN	JOB No MEC-CD-26107			
AUTHORISED KJ	DWG No C0.0	REV A		





SWEPT PATH WITH 300mm CLEARANCE - B85 VEHICLE - ENTRY TO CARPARK
 SCALE 1:100



No	REVISION	ENG	DRAFT	DATE
1	REVISION A	AP	MS	26/05/2026

CLIENT
 URBAN SPACE DESIGNERS

ARCHITECT
 URBAN SPACE DESIGNERS

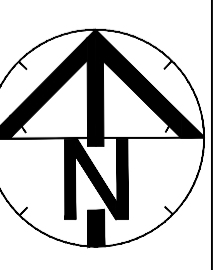
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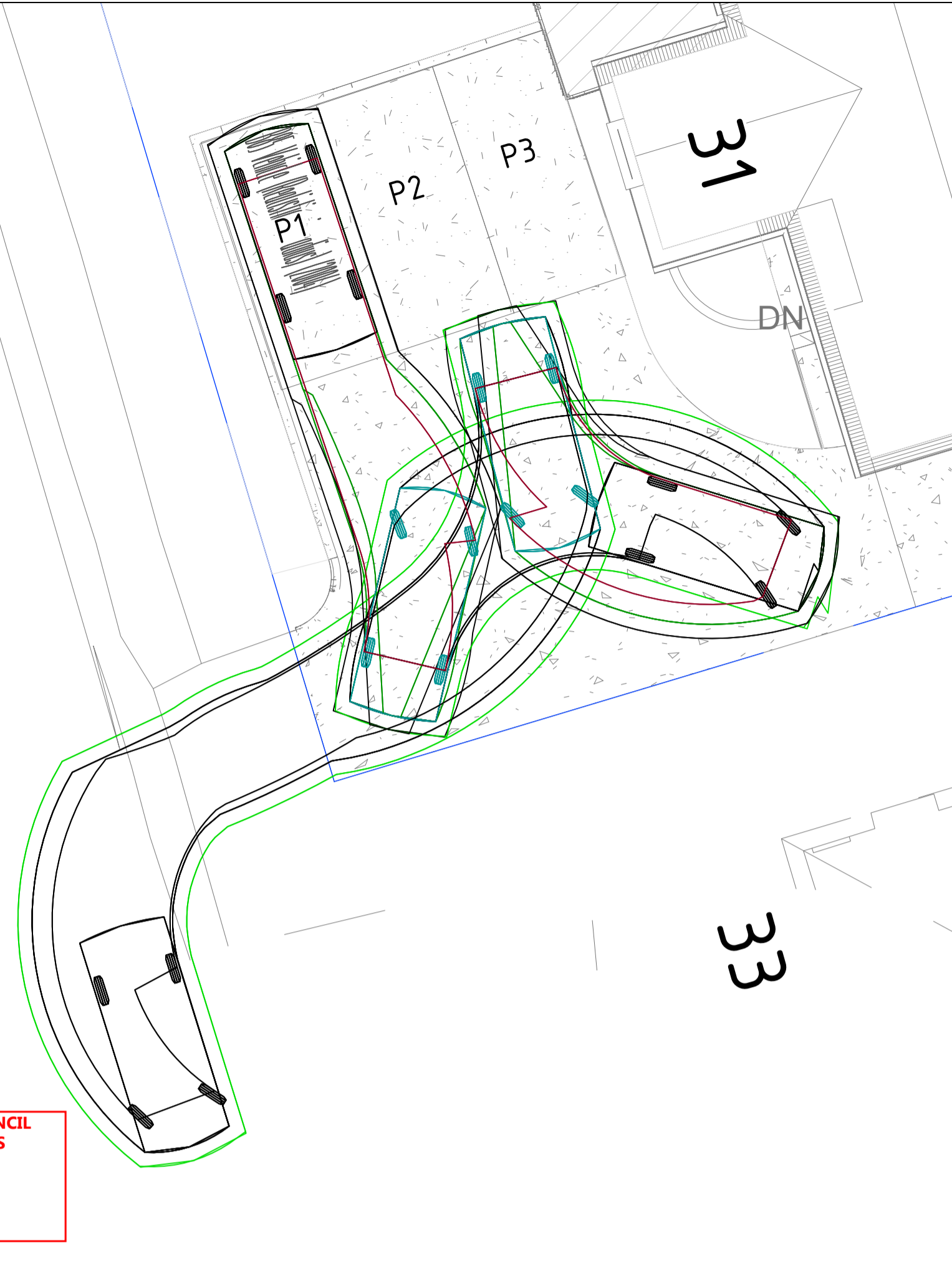
PROJECT
 31 CENTENARY CRESCENT CLAREMONT
 TAS 7011

SHEET SUBJECT
 SWEPT PATH ANALYSIS - ENTRY TO CARPARK

PROJECT 31 CENTENARY CRESCENT CLAREMONT TAS 7011			
DATE 26/05/2026	DRAWN MS	DESIGNED MS	CHECKED AP
SCALE @ A3 AS SHOWN		JOB No MEC-CD-26107	
AUTHORISED KJ	DWG No C1.0	REV A	

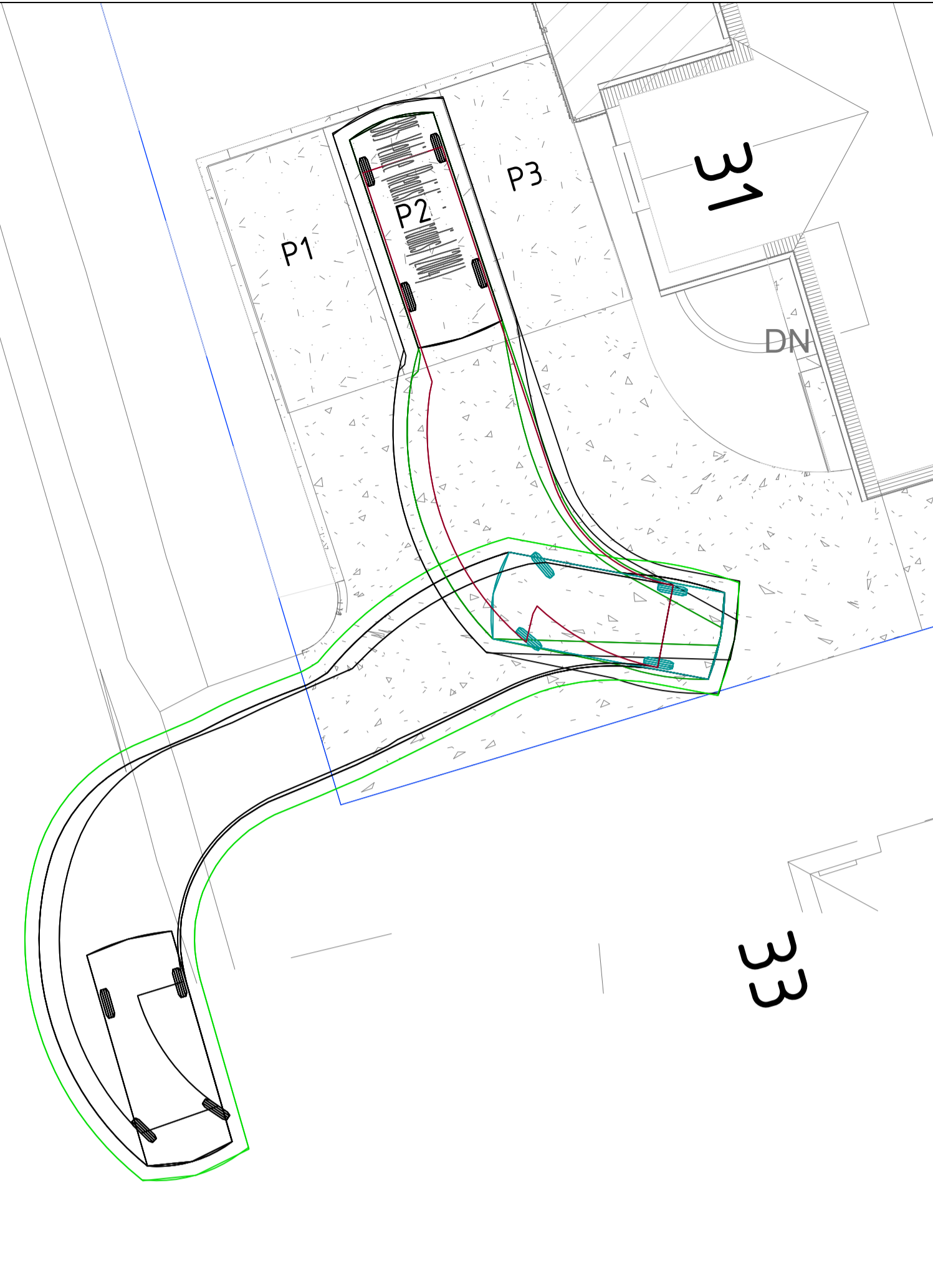


CENTENARY CRESCENT

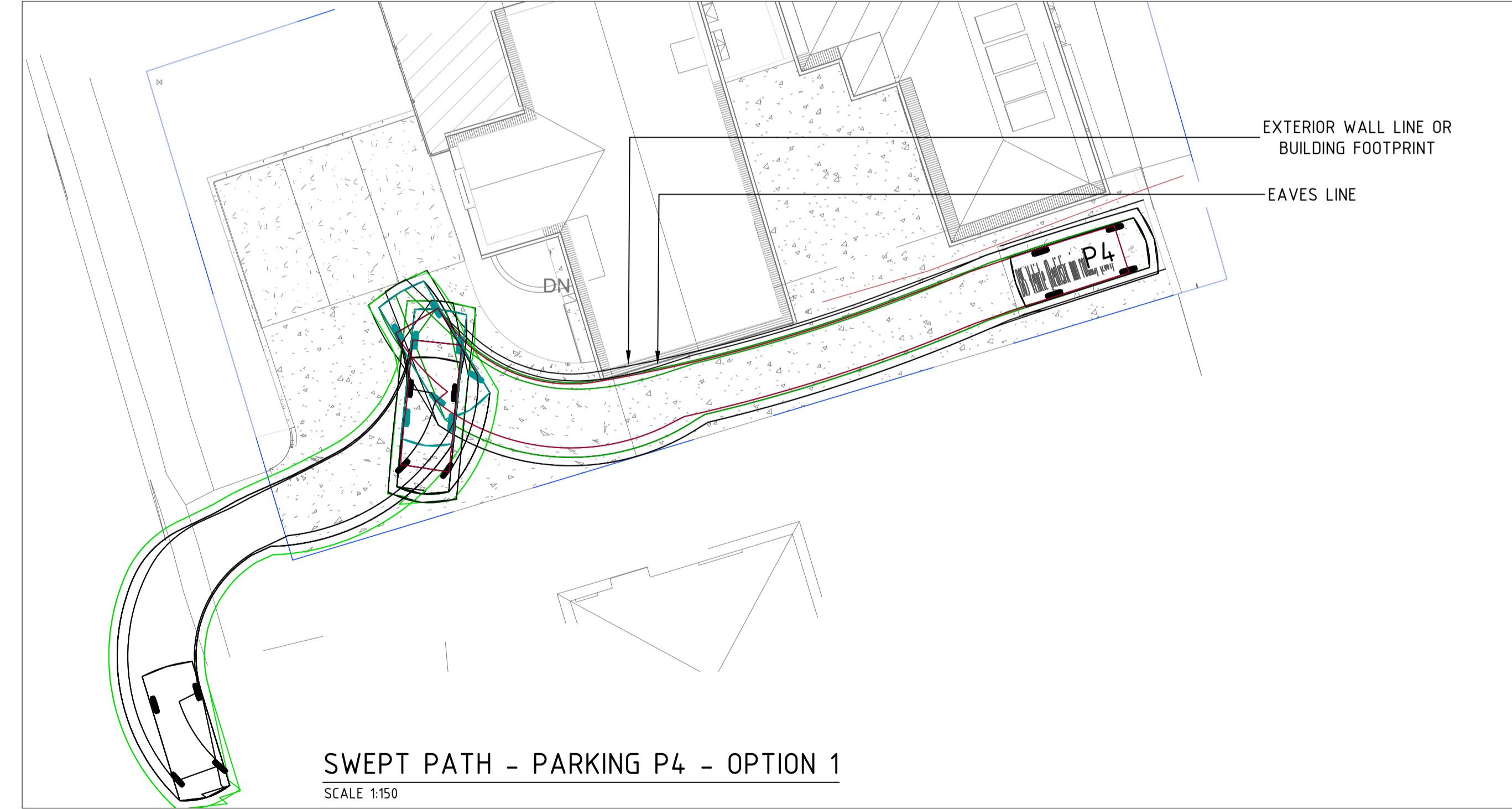
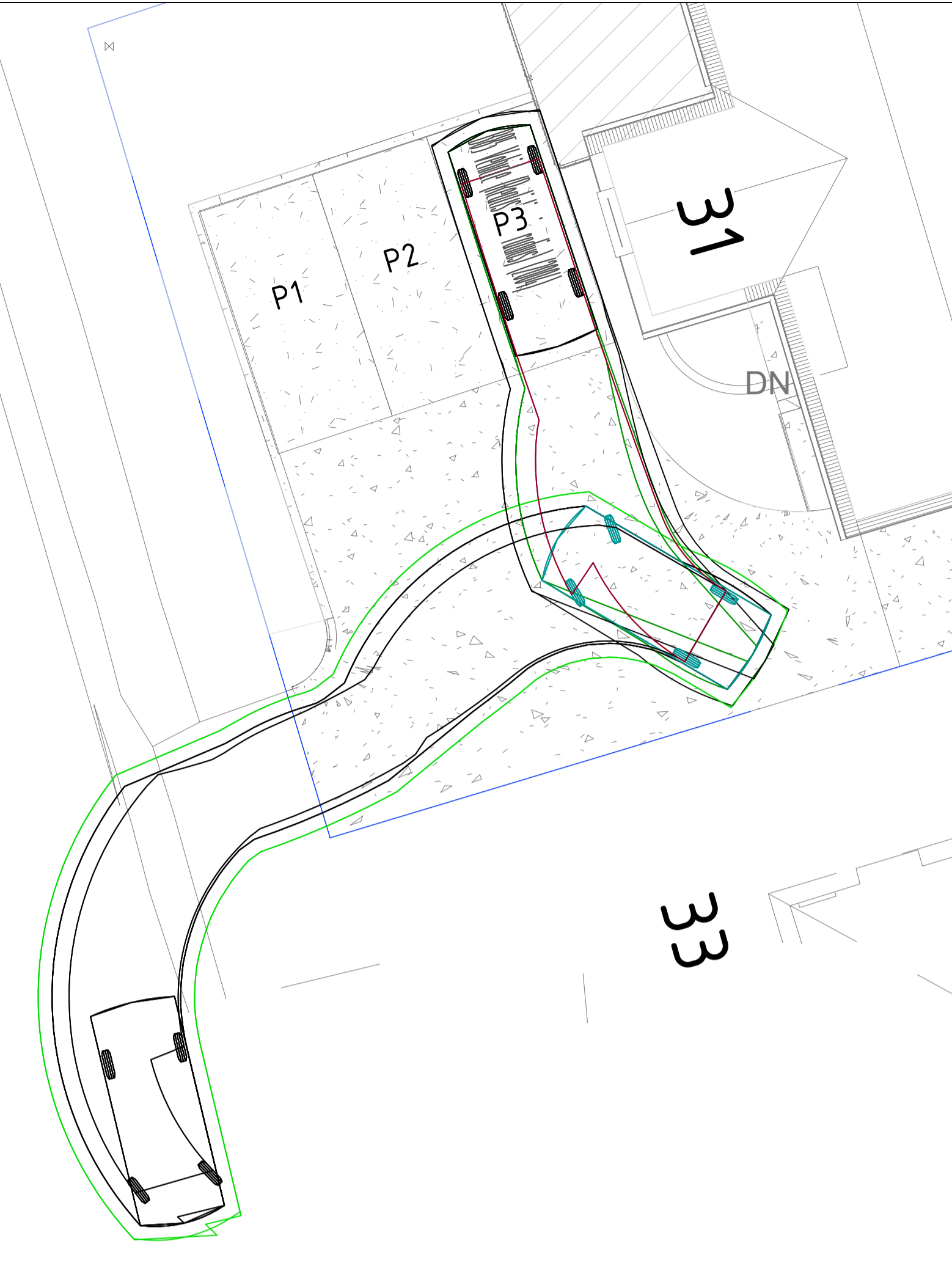


GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-26-064
DATE RECEIVED: 01/06/2026

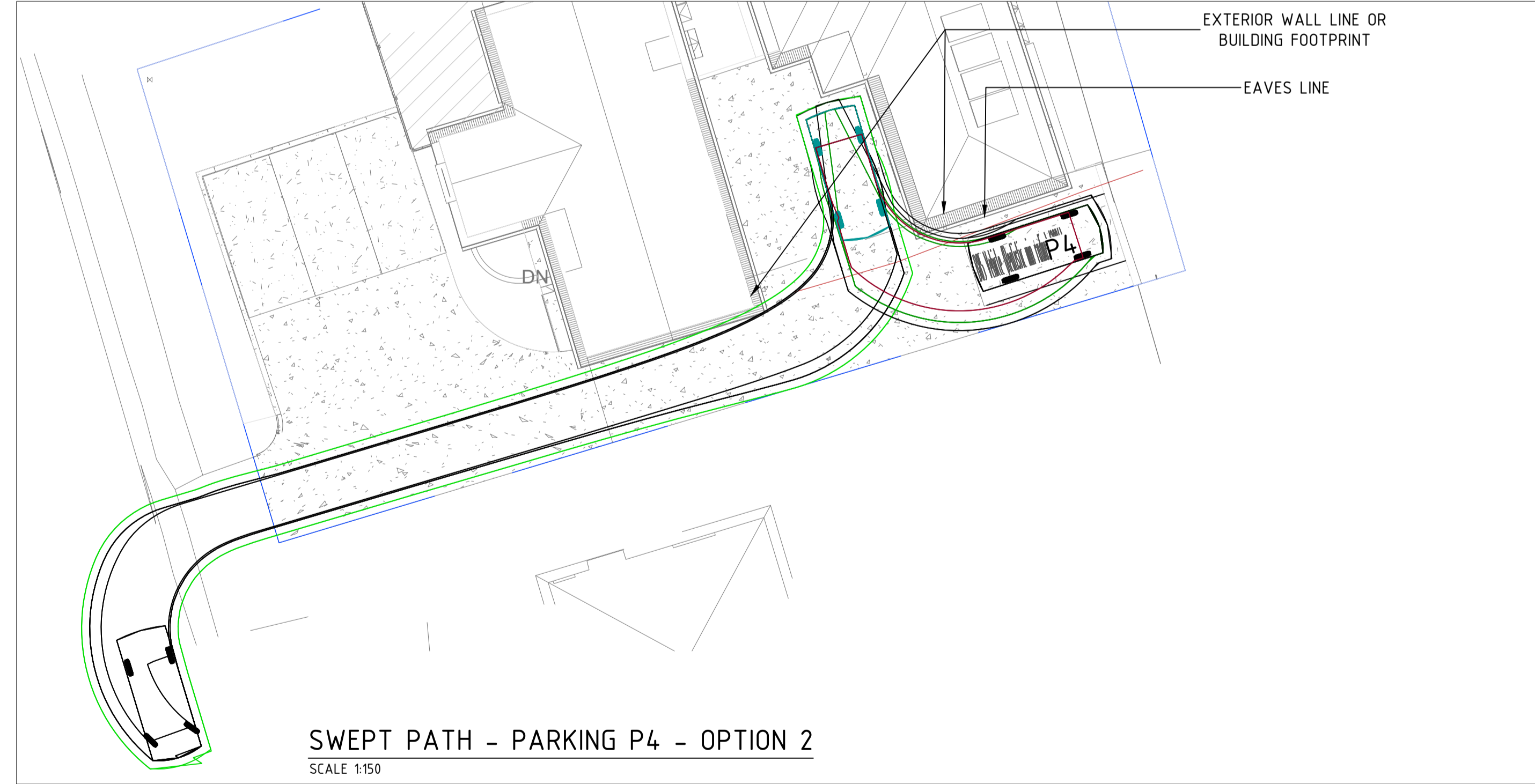
CENTENARY CRESCENT



CENTENARY CRESCENT



SWEEP PATH - PARKING P4 - OPTION 1
SCALE 1:150



SWEEP PATH - PARKING P4 - OPTION 2
SCALE 1:150

SWEEP PATH WITH 300mm CLEARANCE - B85 VEHICLE - EXIT FROM CARPARK
SCALE 1:100



1	REVISION A	AP	MS	26/05/2026	
No	REVISION	ENG	DRAFT	DATE	

CLIENT
URBAN SPACE DESIGNERS

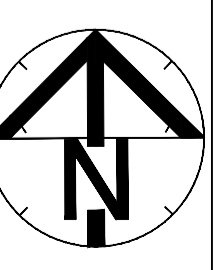
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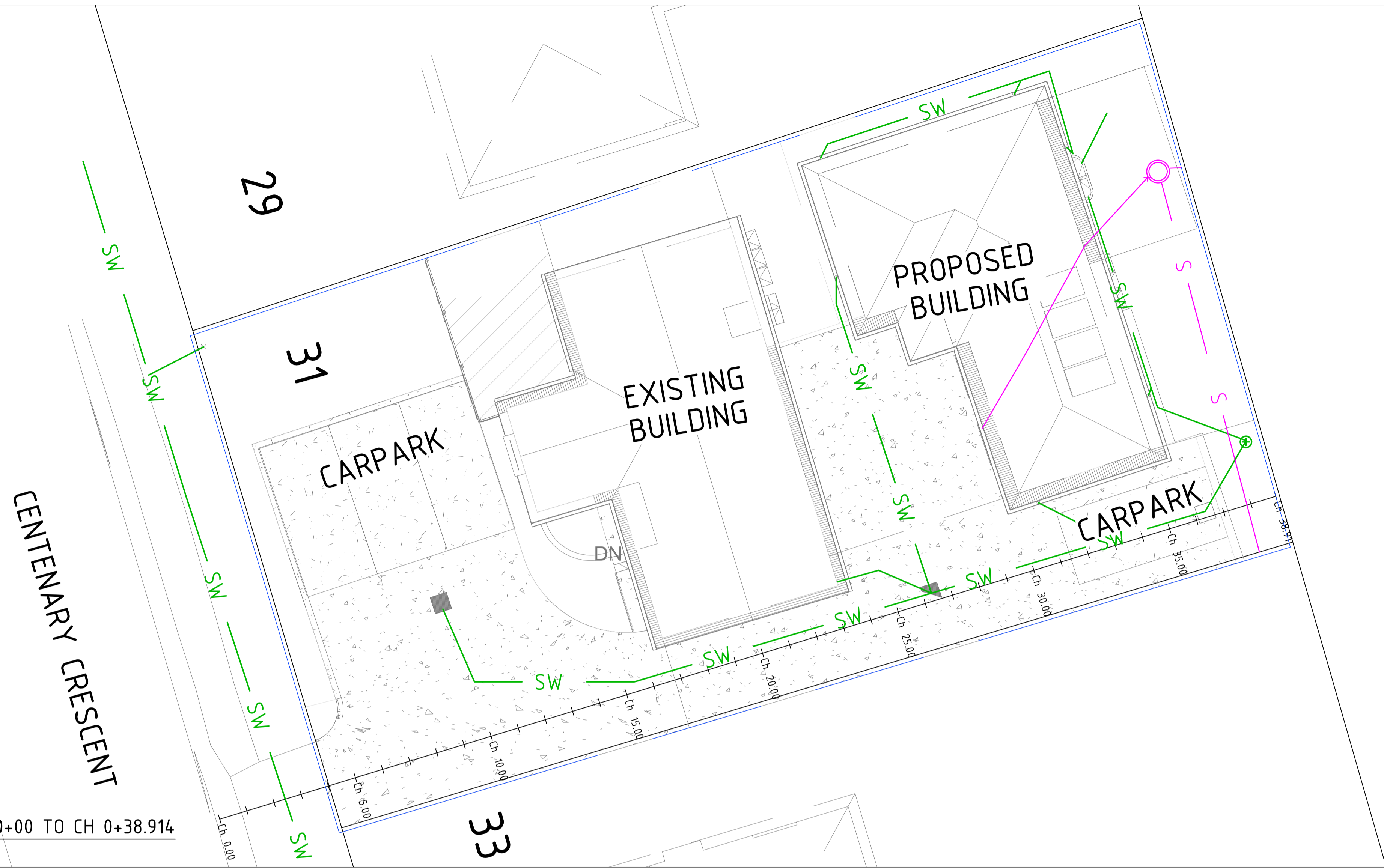
PROJECT
31 CENTENARY CRESCENT CLAREMONT
TAS 7011

SHEET SUBJECT
SWEEP PATH ANALYSIS - EXIT FROM CARPARK

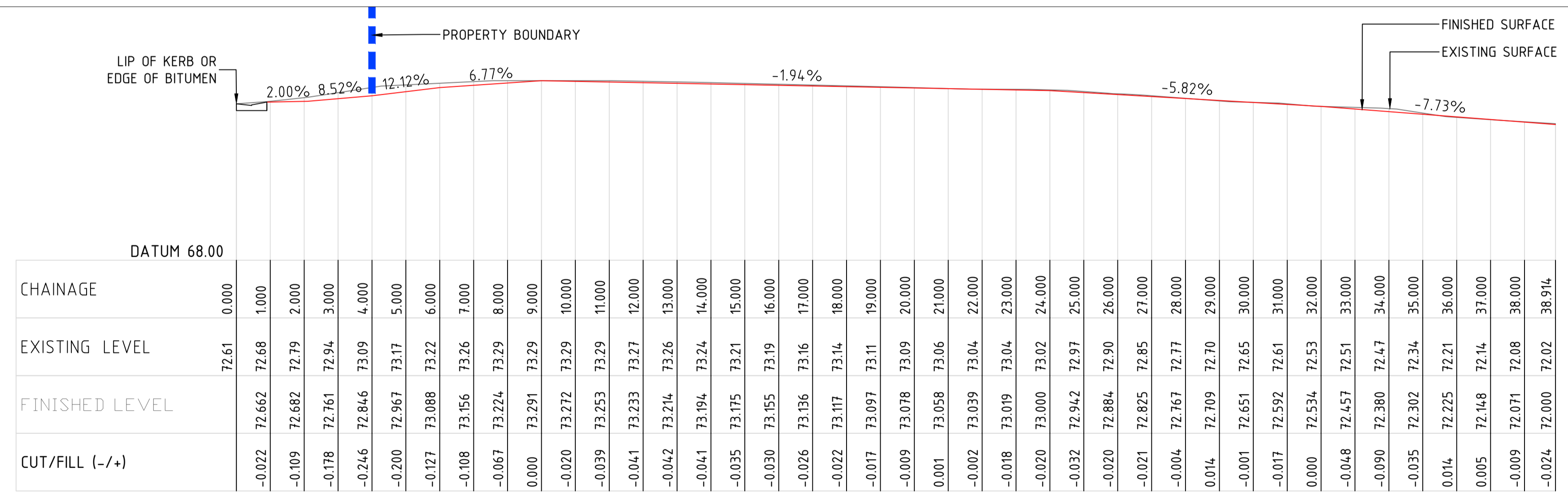
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DATE 26/05/2026	DRAWN MS	DESIGNED MS	CHECKED AP
SCALE @ A3 AS SHOWN		JOB No MEC-CD-26107	
AUTHORISED KJ	DWG No C1.1	REV A	



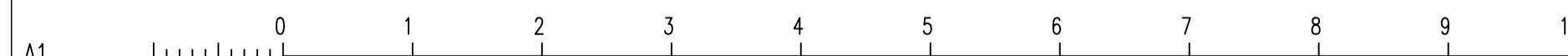
GLENORCHY CITY COUNCIL
 PLANNING SERVICES
 APPLICATION No. : PLN-26-064
 DATE RECEIVED: 01/06/2026



LONGITUDINAL PLAN - DRIVEWAY/CARPARK CH 0+00 TO CH 0+38.914
 Scale 1:100



LONGITUDINAL PROFILE - DRIVEWAY/CARPARK CH 0+00 TO CH 0+38.914
 Scale 1:100



CLIENT		URBAN SPACE DESIGNERS	
ARCHITECT		URBAN SPACE DESIGNERS	
1	REVISION A	AP	MS 26/05/2026
No	REVISION	ENG	DRAFT DATE

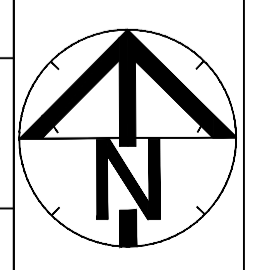
COMPANY LOGO	
PROJECT	
31 CENTENARY CRESCENT CLAREMONT TAS 7011	
SHEET SUBJECT	
LONGITUDINAL PLAN AND PROFILE - DRIVEWAY/CARPARK	
PROJECT	31 CENTENARY CRESCENT CLAREMONT TAS 7011
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REV	A



PROJECT	31 CENTENARY CRESCENT CLAREMONT TAS 7011
SHEET SUBJECT	LONGITUDINAL PLAN AND PROFILE - DRIVEWAY/CARPARK

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REV	A



LEGEND

CHC = Communication House Connection
 DP = Downpipe
 EHC = Electricity House Connection
 ORG = Overflow Relief Gully
 WT = Water Tap
 B of F = Bottom of Fascia

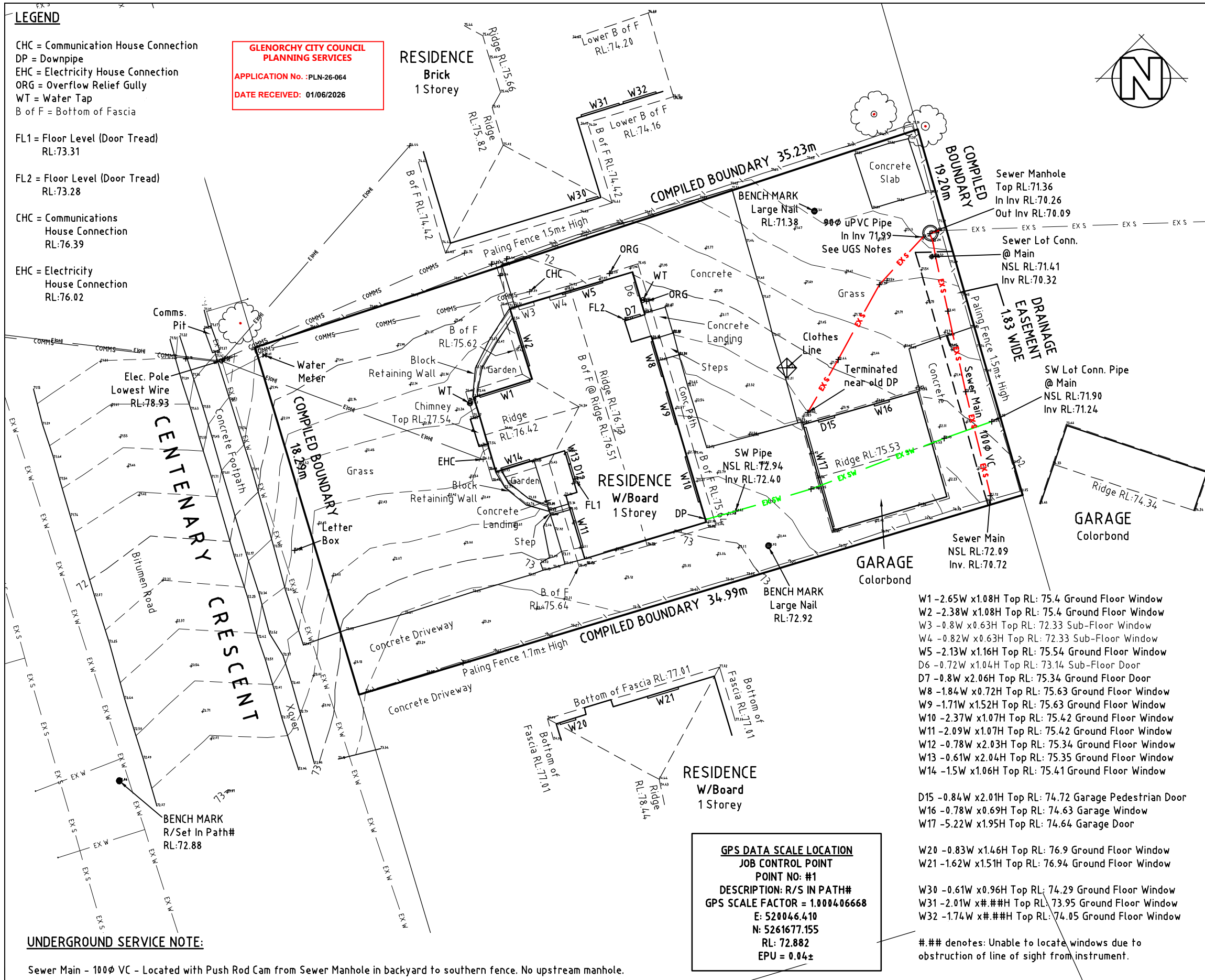
**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
 APPLICATION No. : PLN-26-064
 DATE RECEIVED: 01/06/2026

FL1 = Floor Level (Door Tread)
 RL:73.31

FL2 = Floor Level (Door Tread)
 RL:73.28

CHC = Communications
 House Connection
 RL:76.39

EHC = Electricity
 House Connection
 RL:76.02



GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
6. HORIZONTAL DATUM IS MGA (GDA94).
7. VERTICAL DATUM IS AHD.
8. CONTOUR INTERVAL IS 0.2 METRE, INDEX IS 1.0 METRE.
9. SURVEY BY ROBOTIC TOTAL STATION AND RTK GPS.
10. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY BY A REGISTERED LAND SURVEYOR WILL BE REQUIRED.
11. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

LIST DATA IMPORT

- TasWater-SewerLateralLine
- TasWater-SewerMain
- TasWater-SewerMaintenanceHole
- TasWater-SewerPressurisedMain
- TasWater-WaterHydrant
- TasWater-WaterLateralLine
- TasWater-WaterMain

12. BOUNDARIES ARE COMPILED ONLY FROM SP22633 AND P1818 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

13. ALL WINDOWS WERE NOT ABLE TO BE LOCATED DUE TO OBSTRUCTION OF LINE OF SIGHT FROM TOTAL STATION. WINDOW LOCATIONS ARE APPROXIMATE ONLY DUE TO BEING UNABLE TO BE PERPENDICULAR TO WINDOWS WHEN LOCATING WITH TOTAL STATION.

14. 3D DATA TURNED OFF IN LAYER CONTROL.

- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

UNDERGROUND SERVICE NOTE:

Sewer Main - 100φ VC - Located with Push Rod Cam from Sewer Manhole in backyard to southern fence. No upstream manhole.

Stormwater Main - Not located. Council DBYD Plans show Manhole in Northeastern Corner of #33 Centenary Crescent. We approached neighbor and accessed backyard and were unable to locate Manhole. #33 also has a grated pit behind shed and a grated trench in front of shed. Both were rodded and bends in pipes forced termination.

Sewer Lot Connection - 100φ Unknown Type, Located by Push Rod Cam. Approx 0.80m upstream from Sewer Manhole.

Stormwater Lot Connection - Unknown Type, Located by rodder from downpipe at southeastern corner of existing dwelling. Terminated at main.

GPS DATA SCALE LOCATION

JOB CONTROL POINT
 POINT NO: #1
 DESCRIPTION: R/S IN PATH#
 GPS SCALE FACTOR = 1.000406668
 E: 520046.410
 N: 5261677.155
 RL: 72.882
 EPU = 0.04±

- W1 - 2.65W x 1.08H Top RL: 75.4 Ground Floor Window
- W2 - 2.38W x 1.08H Top RL: 75.4 Ground Floor Window
- W3 - 0.8W x 0.63H Top RL: 72.33 Sub-Floor Window
- W4 - 0.82W x 0.63H Top RL: 72.33 Sub-Floor Window
- W5 - 2.13W x 1.16H Top RL: 75.54 Ground Floor Window
- D6 - 0.72W x 1.04H Top RL: 73.14 Sub-Floor Door
- D7 - 0.8W x 2.06H Top RL: 75.34 Ground Floor Door
- W8 - 1.84W x 0.72H Top RL: 75.63 Ground Floor Window
- W9 - 1.71W x 1.52H Top RL: 75.63 Ground Floor Window
- W10 - 2.37W x 1.07H Top RL: 75.42 Ground Floor Window
- W11 - 2.09W x 1.07H Top RL: 75.42 Ground Floor Window
- W12 - 0.78W x 2.03H Top RL: 75.34 Ground Floor Window
- W13 - 0.61W x 2.04H Top RL: 75.35 Ground Floor Window
- W14 - 1.5W x 1.06H Top RL: 75.41 Ground Floor Window

- D15 - 0.84W x 2.01H Top RL: 74.72 Garage Pedestrian Door
- W16 - 0.78W x 0.69H Top RL: 74.63 Garage Window
- W17 - 5.22W x 1.95H Top RL: 74.64 Garage Door

- W20 - 0.83W x 1.46H Top RL: 76.9 Ground Floor Window
- W21 - 1.62W x 1.51H Top RL: 76.94 Ground Floor Window

- W30 - 0.61W x 0.96H Top RL: 74.29 Ground Floor Window
- W31 - 2.01W x 0.96H Top RL: 73.95 Ground Floor Window
- W32 - 1.74W x 0.96H Top RL: 74.05 Ground Floor Window

denotes: Unable to locate windows due to obstruction of line of sight from instrument.

<p>Address: 8 Amy Street, Moonah, Tasmania, 7009 Phone: 6273 9831 Fax: 6273 8316 Email: admin@surveyplustas.com.au Mail: PO Box 299, Moonah, Tas, 7009</p>	<p>Project: DETAIL, CONTOUR & FEATURE SURVEY 31 CENTENARY CRES CLAREMONT</p>	<p>Drawing: SITE PLAN C.T. 54836/7 LOT SIZE: 658m²</p>	<p>Drafted by: JLD Date: 06-05-2026 Project/Drawing No: SP252167-01</p>	<p>Approved By: JLD Scale: 1:200@A3 Revision: C</p>
	<p>Document Set ID: 3622629 Version: 1, Version Date: 03/06/2026</p>			